

## **PUBLIC NOTICE**

NOTICE IS HEREBY GIVEN THAT the Tooele City Planning Commission will meet in a business meeting scheduled for **Wednesday, October 26, 2022** at the hour of 7:00 p.m. The meeting will be held in the City Council Chambers of Tooele City Hall, located at 90 North Main Street, Tooele, Utah.

**\*\* Notice – Tooele City is no longer broadcasting meetings via Facebook Live \*\***

We encourage anyone interested to join the Planning Commission meeting electronically through Tooele City's YouTube channel by logging onto [www.youtube.com](http://www.youtube.com) and searching **Tooele City Channel**. If you would like to submit a comment for any public hearing item you may email [pcpubliccomment@tooelecity.org](mailto:pcpubliccomment@tooelecity.org) anytime after the advertisement of this agenda and before the close of the hearing for that item during the meeting. Emails will only be read for public hearing items at the designated points in the meeting.

## **AGENDA**

1. **Pledge of Allegiance**
2. **Roll Call**
3. **Public Hearing and Decision** on a Conditional Use Permit Request by Cristian Martinez for a "Dwelling, Multi-Family" Use at 432 South Main Street in the MU-G Mixed Use General Zoning District on 1.33 Acres.
4. **Public Hearing and Decision** on a Conditional Use Permit Request by Kishka Erekson for an "Automobile Sales and Rental" Use at 494 South Main Street in the MU-G Mixed Use General Zoning District on 0.82 Acres.
5. **Decision** on a Site Plan Design Review Request for the Villas at Sunset Estates Townhome Development by Hallmark Homes Located at the Northwest Corner of 2000 North Berra Boulevard on 4.6 acres in the MR-8 Multi-Family Residential Zoning District.
6. **Decision** on a Site Plan Design Review Request for the Harris Community Village Multi-Family Residential Support Facility Development by AJC Architects located at 251 North First Street in the MR-8 Multi-Family Residential Zoning District on 9.3 Acres.
7. **City Council Reports**
8. **Planning Commission Training** on Commercial Zoning Principles.
9. **Review and Approval** of Planning Commission Minutes for the Meeting Held on September 28, 2022.
10. **Adjourn**

Pursuant to the Americans with Disabilities Act, individuals needing special accommodations during this meeting should notify Andrew Aagard, Tooele City Planner and Zoning Administrator prior to the meeting at (435) 843-2132.

**STAFF REPORT**

October 19, 2022

**To:** Tooele City Planning Commission  
Business Date: October 26, 2022

**From:** Planning Division  
Community Development Department

**Prepared By:** Andrew Aagard City Planner / Zoning Administrator

**Re: Breezeway Apartments – Conditional Use Permit Request**

Application No.: P22-1172  
Applicant: Cristian Martinez  
Project Location: 432 South Main Street  
Zoning: MU-G Mixed Use General Zone  
Acreage: 1.33 Acres (Approximately 57,934 ft<sup>2</sup>)  
Request: Request for approval of a Conditional Use Permit in the MU-G Mixed Use General zone authorizing the use of “Dwelling, Multi-Family” to occur on the property.

**BACKGROUND**

This application is a request for approval of a Conditional Use Permit for approximately 1.33 acres located at approximately 432 South Main Street. The property is currently zoned MU-G Mixed Use General. The applicant is requesting that a Conditional Use Permit be approved to permit the use of “Dwelling, Multi-Family” to occur on the property. This Conditional Use Permit will facilitate the construction of residential apartment buildings.

**ANALYSIS**

*General Plan and Zoning.* The Land Use Map of the General Plan calls for the Mixed Use land use designation for the subject property. The property has been assigned the MU-G Mixed Use General zoning classification, supporting approximately sixteen dwelling units per acre. Properties located to the north, south and east are all zoned MU-G Mixed Use General and are utilized primarily as residential. Properties to the west are zoned R1-7 Residential and are utilized as single-family residential. Mapping pertinent to the subject request can be found in Exhibit “A” to this report.

The MU-G Mixed Use General zoning district is a zone that permits both residential and commercial uses to occur and that is demonstrated in the area as there are commercial uses on properties closer proximity to the subject properties. There are hotels, restaurants, convenience stores and gas stations in the same zoning district. The MU-G zone also permits multi-family residential units as well as single-family, however, multi-family residential units require a Conditional Use Permit approved by the Planning Commission after a public hearing in order to be authorized. The purpose of this hearing is to try and identify any potential impacts to adjacent properties that a multi-family dwelling development on this property may create and then identify conditions of approval specific to resolving those identified impacts.

This item is not a site plan approval. Site plan design review will be coming to the Planning Commission as this project progresses through the review process. During the site plan review process issues such as parking, landscaping, building appearance, fencing, lighting, etc, are reviewed in greater detail. The purpose of this application is to approve the use, identify impacts, and assign conditions to resolve or mitigate those impacts.

Site Plan Layout. The application is also currently undergoing site plan design review and the plans are being reviewed extensively by City Staff. The site plan application still has some issues or matters that are being worked through with the applicant and was not ready to be on the same agenda as the Conditional Use Permit. The site plan has been included in the staff report for the Conditional Use Permit as a reference for the Planning Commission to understand the applicant's intentions for developing apartment buildings on the site.

The site is proposing two separate apartment buildings with 21 residential units between the two of them for a total density of just less than 16 units per acre. Parking areas exist between the buildings and east of the buildings adjacent to SR-36.

The property is literally sandwiched between two roads, SR-36 to the east and 50 West street to the west. 50 West street is a sub-standard public right-of-way maintained by Tooele City and can be used to access the proposed development. SR-36 is a state highway and all connections and access to that highway are approved and granted by the Utah Department of Transportation.

Criteria For Approval. The criteria for review and potential approval of a Conditional Use Permit request is found in Sections 7-5-3(3) and (4) of the Tooele City Code. This section depicts the standard of review for such requests as:

- (3) Procedure. At the public hearing, testimony may be given by the applicant and all other persons either in support of or in opposition to the application. The Planning Commission may take the application under advisement, but shall render its determination within 30 days of the date of the hearing.
- (4) Approval. The Planning Commission shall approve the conditional use application if reasonable conditions are proposed, or can be imposed, to mitigate the reasonably anticipated detrimental effects of the proposed use. If the reasonably anticipated detrimental effects of a proposed conditional use cannot be substantially mitigated by the proposal or the imposition of reasonable conditions to achieve compliance with applicable standards, the conditional use may be denied.

Findings of Fact. As a part of the approval or denial of a Conditional Use Permit a finding of fact according to Sections 7-5-4 of the Tooele City Code is required. This section depicts the standard for findings of fact:

Prior to approving or denying a Conditional Use Permit application, the Planning Commission shall make, in the business meeting at which the public hearing is conducted or the permit is approved or denied, a finding of the following facts:

- (1) the reasonably anticipated detrimental effects of the proposed use upon adjacent and nearby persons and properties;
- (2) the evidence identified regarding the identified reasonably anticipated detrimental effects of the proposed use;
- (3) the reasonable conditions imposed, as part of the Conditional Use Permit approval, intended to mitigate the reasonably anticipated detrimental effects of the proposed use;
- (4) the reasons why the imposed conditions are anticipated or hoped to mitigate the reasonably anticipated detrimental effects of the proposed use;
- (5) the evidence, if any, identified regarding the ability of the imposed conditions to mitigate the reasonably anticipated detrimental effects of the proposed use.

In response to the City Code requirement for findings of fact, the following are the staff identified detrimental effects this application, should it be approved, may impose upon adjacent and nearby persons and property :

1. This application presents the likelihood of construction and development resulting from its approval. Construction and development presents the necessity for work to be done properly and safely for those doing the work as well as those employees and citizens that may patronize the business. As such, it is imperative that all construction and development activities comply with property regulations which can

- be assured through the City's engineering plan review, permitted, and inspection processes.
2. This application presents the likelihood of construction and development resulting from its approval. Construction and development presents the necessity for work to be done properly and safely, particularly for connection into the City's public infrastructure, for those doing the work as well as those employees and citizens that may patronize the business. As such, it is imperative that all construction and development activities comply with property regulations which can be assured through the City's Public Works Department plan review, permitted, and inspection processes.
  3. This application presents the likelihood of construction and development resulting from its approval. Construction and development presents the necessity for work to be done properly and safely for those doing the work as well as those employees and citizens that may patronize the business. As such, it is imperative that all construction and development activities comply with property regulations which can be assured through the City's building plan review, permitted, and inspection processes.
  4. This application presents the likelihood of construction and development resulting from its approval. Construction and development presents the necessity for work to be done properly and safely for those doing the work as well as those employees and citizens that may patronize the business. As such, it is imperative that all construction and development activities comply with property regulations which can be assured through the City's Fire Department plan review, permitted, and inspection processes.
  5. This application presents the likelihood of construction and development resulting from its approval. Construction and development presents the necessity for work to be done properly and safely for those doing the work as well as those employees and citizens that may patronize the business. As such, it is imperative that all construction and development activities comply with all requirements of the geotechnical report.
  6. This application creates the need of construction of an access connecting to SR-36. SR-36 is a state controlled highway and only UDOT has authority to approve connections to its roadway. The applicant has not, at the date of the staff report, submitted anything from UDOT granting approval to connect to and access SR-36 for a multi-family residential development.

## **REVIEWS**

*Planning Division Review.* The Tooele City Planning Division has completed their review of the Conditional Use Permit submission and has issued a recommendation for approval for the request with the following proposed condition:

1. Demonstrate approvals to connect to and access SR-36 from the Utah Department of Transportation (UDOT) as a multi-family residential development.

*Engineering and Public Works Review.* The Tooele City Engineering and Public Works Divisions have completed their review of the Conditional Use Permit submission and have not issued any comments. The Engineering and Public Works Divisions are currently reviewing the site plan application.

*Tooele City Fire Department Review.* The Tooele City Fire Department have completed their review of the Conditional Use Permit submission and have not issued any comments. The Tooele City Fire Chief is currently reviewing the site plan application.

*Noticing.* The applicant has expressed their desire to obtain a Conditional Use Permit for the subject property and do so in a manner which is compliant with the City Code. As such, notice has been properly issued in the manner outlined in the City and State Codes.



## **STAFF RECOMMENDATION**

Staff recommends approval of the request for a Conditional Use Permit by Cristian Martinez, representing the , application number P22-1172, subject to the following conditions:

1. That all requirements of the Tooele City Engineering Division shall be satisfied throughout the development of the site and the construction of all buildings on the site, including permitting.
2. That all requirements of the Tooele City Public Works Development shall be satisfied throughout the development of the site and the construction of all buildings on the site, including permitting.
3. That all requirements of the Tooele City Building Division shall be satisfied throughout the development of the site and the construction of all buildings on the site, including permitting.
4. That all requirements of the Tooele City Fire Department shall be satisfied throughout the development of the site and the construction of all buildings on the site.
5. That all requirements of the geotechnical report shall be satisfied throughout the development of the site and the construction of all buildings on the site.
6. Shall provide approvals from the Utah Department of Transportation (UDOT) to construct an access for this residential apartment development connecting to and accessing SR-36.

This recommendation is based on the following findings:

1. The proposed development plans meet the intent, goals, and objectives of the Tooele City General Plan.
2. The proposed development plans meet the requirements and provisions of the Tooele City Code.
3. The proposed development plans will not be deleterious to the health, safety, and general welfare of the general public nor the residents of adjacent properties.
4. The proposed development conforms to the general aesthetic and physical development of the area.
5. The public services in the area are adequate to support the subject development.
6. The findings of fact for this proposed Conditional Use Permit request have been identified and the conditions proposed are intended to mitigate the reasonably anticipated detrimental impacts, as required by Tooele City Code Section 7-5-4.

## **MODEL MOTIONS**

Sample Motion for Approval – “I move we approve the Conditional Use Permit Request by Cristian Martinez to authorize the use of “Dwelling, Multi-Family” to occur at 432 South Main Street, application number P22-1172, based on the findings and subject to the conditions listed in the Staff Report dated October 19, 2022:”

1. List and additional findings of fact and conditions...

Sample Motion for Denial – “I move we deny the Conditional Use Permit Request by Cristian Martinez to authorize the use of “Dwelling, Multi-Family” to occur at 432 South Main Street, application number P22-1172, based on the following findings:”

1. List findings of fact ...

**EXHIBIT A**

**MAPPING PERTINENT TO THE  
BREEZEWAY APARTMENTS CONDITIONAL USE PERMIT**

***Breezeway Apartments Conditional Use***



***Aerial View***



# ***Breezeway Apartments Conditional Use***



***Current Zoning***

**EXHIBIT B**

**PROPOSED DEVELOPMENT PLANS &  
APPLICANT SUBMITTED INFORMATION**

# Conditional Use Permit Application

Community Development Department  
 90 North Main Street, Tooele, UT 84074  
 (435) 843-2132 Fax (435) 843-2139  
 www.tooelecity.org



*Notice:* The applicant must submit copies of the pertinent plans and documents to be reviewed by the City in accordance with the terms of the Tooele City Code. All submitted Conditional Use Permit applications shall be reviewed in accordance with all applicable City ordinances and requirements, are subject to compliance reviews by various City departments, and may be returned to the applicant for revision if the plans are found to be inadequate or inconsistent with the requirements of the City Code. Application submission in no way guarantees placement of the application on any particular agenda of any City reviewing body. It is **strongly** advised that all checklist items be submitted well in advance of any anticipated deadlines.

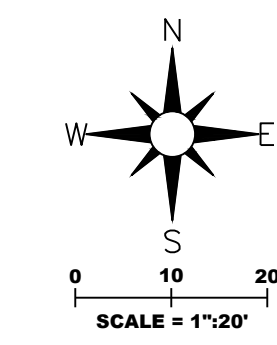
<b>Project Information</b>						22-1172					
Date of Submission:		Current Zoning: <b>MIXED USE MU-G</b>		Parcel #(s): <b>02-064-0-0016</b>							
Project Name: <b>BREEZEWAY APARTMENTS</b>					Acres: <b>1.33</b>						
Project Address: <b>432 S MAIN STREET, TOOELE, UTAH 84074</b>					Units: <b>21</b>						
Project Description: <b>21 UNIT APARTMENT PROJECT: (1) 2-STORY AND (1) 3-STORY BLDG, 54 PARKING STALLS, DUMPSTER ENCLOSURE, AND AMENITY AREA</b>											
Current Use of Property: <b>VACANT</b>											
Property Owner(s): <b>ROSA MARTINEZ</b>				Applicant(s): <b>CRISTIAN MARTINEZ</b>							
Address: <b>7432 SOUTH 5765 WEST</b>				Address: <b>7432 SOUTH 5765 WEST</b>							
City:	<b>WEST JORDAN</b>	State:	<b>UT</b>	Zip:	<b>84081</b>	City:	<b>WEST JORDAN</b>	State:	<b>UT</b>	Zip:	<b>84081</b>
Phone: <b>801-712-3812</b>				Phone: <b>801-712-3812</b>							
Contact Person: <b>CRISTIAN MARTINEZ</b>				Address: <b>7432 SOUTH 5765 WEST</b>							
Phone:				City: <b>WEST JORDAN</b>				State: <b>UT</b>		Zip: <b>84081</b>	
Cellular: <b>801-712-3812</b>		Fax:			Email: <b>EXTRAMT801@GMAIL.COM</b>						
Signature of Applicant:								Date			

\*The application you are submitting will become a public record pursuant to the provisions of the Utah State Government Records Access and Management Act (GRAMA). You are asked to furnish the information on this form for the purpose of identification and to expedite the processing of your request. This information will be used only so far as necessary for completing the transaction. If you decide not to supply the requested information, you should be aware that your application may take a longer time or may be impossible to complete. If you are an "at-risk government employee" as defined in *Utah Code Ann.* § 63-2-302.5, please inform the city employee accepting this information. Tooele City does not currently share your private, controlled or protected information with any other person or government entity.

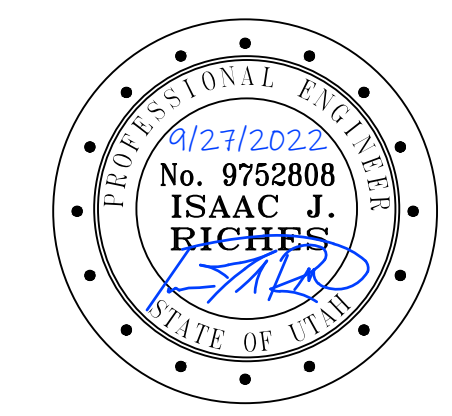
\*\* By submitting this application form to the City, the applicant acknowledges that the above list is not exclusive and under no circumstances waives any responsibility or obligation of the Applicant and or his Agents from full compliance with City Master Plans, Code, Rules and or Regulations.

<b>For Office Use Only</b>				222 1103	
Fee: <b>\$600.00</b>		Received By: <i>Hunter</i>		Date Received: <b>10/6/22</b>	
(213)				Receipt #: <b>570490</b>	





1246 E Driggs Ave  
SLC, UT 84106  
isaac@irecivil.com (801) 860-2191

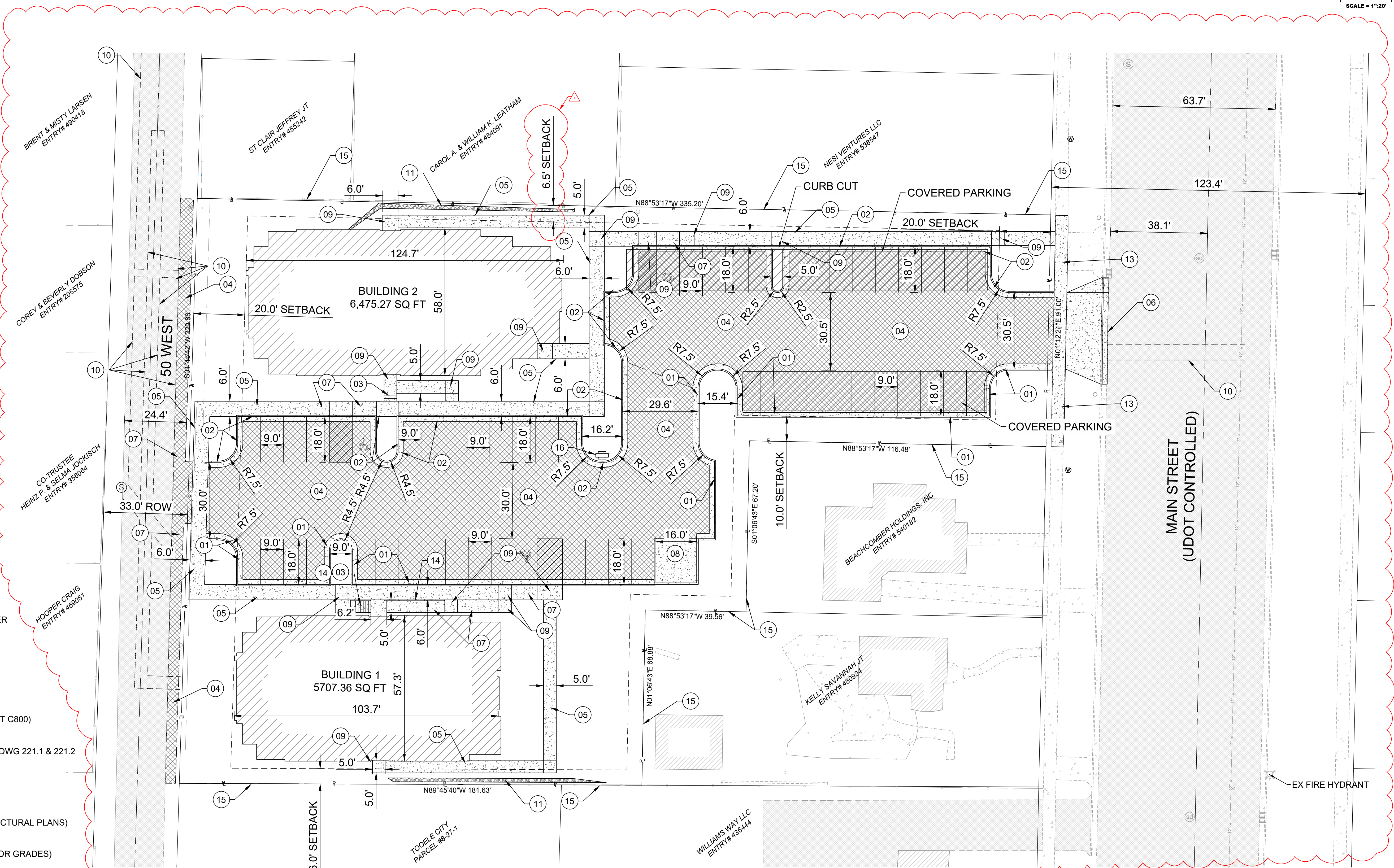


**BREEZEWAY APARTMENTS**  
432 MAIN STREET  
TOOELE, UTAH 84074

CLIENT CONTACT  
NAME: CHRISTIAN MARTINEZ  
ADDRESS: 7432 SOUTH 5765 WEST  
WEST JORDAN, UTAH 84081  
PHONE: (801) 712-3812  
EMAIL: EXTRAMT@GMAIL.COM

REV	COMMENT
△	PLANNING DEPT COMMENTS 8.17.2022

SHEET NO.  
**C300**  
SITE PLAN



**KEYNOTES:**

- 01 30" RELEASE CURB AND GUTTER (SEE DETAIL 2 SHEET C800)
- 02 30" COLLECTION CURB AND GUTTER (SEE DETAIL 1 SHEET C800)
- 03 STAIRS (SEE DETAIL 5 ON SHEET C800)
- 04 ASPHALT (SEE DETAIL 3 SHEET C800)
- 05 SIDEWALK (SEE DETAIL 4 ON SHEET C800)
- 06 DRIVE APPROACH PER APWA STD DWG 221.1 & 221.2
- 07 ADA RAMP (SEE GRADING ON SHEET C500)
- 08 TRASH ENCLOSURE (SEE ARCHITECTURAL PLANS)
- 09 ADA LANDING (SEE SHEET C500 FOR GRADES)
- 10 SAWCUT AND REPAIR PER APWA STD DWG 255
- 11 RETAINING WALL (SEE SHEET C500 FOR SIZE AND ELEVATIONS)
- 12 NOT USED
- 13 SIDEWALK PER TOOELE CITY STD DWG 231R
- 14 HANDRAIL (SEE DETAIL 6 ON SHEET C800)
- 15 6 FT VINYL FENCE PER TOOELE CITY CODE 7-11a-17
- 16 MAILBOX

**LAND USE TABLE**

PROPERTY ZONE: MR-16

TOTAL GROSS ACREAGE (ACRES)	58,057 SQ FT (1.33 ACRES)	100%
BUILDING FOOTPRINTS	15,959.40 SQ FT	27.5%
TOTAL NUMBER OF UNITS	21 UNITS	
LANDSCAPING	14,500.0 SQ FT	25.0%
HARDSCAPING	27,597.60 SQ FT	47.5%

**REQUIRED PARKING CALCULATIONS TOOELE CITY CODE 7-4-4**

TOTAL PARKING PER MULTI FAMILY UNIT = 2 SPACES/UNIT  
TOTAL VISITOR PARKING REQ'D = 1 SPACE PER 2 UNITS  
**CALCULATIONS**  
TOTAL NUMBER OF UNITS = 21 (UNITS) \* 2 (SPACES/UNIT) STALLS = 42 SPACES  
TOTAL VISITOR SPACES = 21 UNITS \* 1/2 (SPACES/UNIT) = 10.5 = 11 SPACES  
TOTAL REQ'D SPACES = 42 SPACES + 11 SPACES = 53 SPACES  
PROVIDED SPACES = 54 PARKING SPACES (25 COVERED + 3 ADA)

**CAUTION: NOTICE TO CONTRACTOR**

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. IF A CONFLICT IS IDENTIFIED, THE ENGINEER OF RECORD SHOULD BE CONTACTED IMMEDIATELY, PRIOR TO ANY FURTHER WORK BEING DONE RELATED TO THE ISSUE. CONTRACTOR IS TO BEGIN CONSTRUCTION AT LOW SIDE OF ALL GRAVITY LINES.



THE CONTRACTOR IS TO CALL BLUE STAKES PRIOR TO ANY CONSTRUCTION.



**STAFF REPORT**

October 18, 2022

**To:** Tooele City Planning Commission  
Business Date: October 26, 2022

**From:** Planning Division  
Community Development Department

**Prepared By:** Andrew Aagard City Planner / Zoning Administrator

**Re: Online Car Sales – Conditional Use Permit Request**

Application No.: P22-1168  
Applicant: Kishka Erekson, representing Sunny Holdings  
Project Location: 494 South Main Street  
Zoning: MU-G Mixed Use General Zone  
Acreage: .96 Acres (Approximately 41,817 ft<sup>2</sup>)  
Request: Request for approval of a Conditional Use Permit in the MU-G Mixed Use General zone authorizing the use of “Automobile Sales and Rental” to occur at this location.

**BACKGROUND**

This application is a request for approval of a Conditional Use Permit for approximately .96 acres located at 494 South Main Street. The property is currently zoned MU-G Mixed Use General. The applicant is requesting that a Conditional Use Permit be approved to permit the use of “Automobile Sales and Rental” to occur on the property.

**ANALYSIS**

*General Plan and Zoning.* The Land Use Map of the General Plan calls for the Mixed Use land use designation for the subject property. The property has been assigned the MU-G Mixed Use General zoning classification. Properties located to the north, west and south are also zoned MU-G Mixed Use General. Properties to the east are zoned MU-G and R1-7 Residential. Mapping pertinent to the subject request can be found in Exhibit “A” to this report.

The Commission may be familiar with this property as a conditional use permit was approved authorizing the use of “child daycare” to occur on the property a few months prior. At that meeting one of the Commissioners noted that the plans denoted an office for an auto dealership but that the use was not included with the application to authorize the child care facility.

In order to conduct an authorized and licensed automobile dealership the applicant must satisfy minimum requirements issued by the State of Utah. Some of those requirements involve the applicant having an office space along with parking spaces dedicated to vehicular display and so forth. The proposed dealership will occupy one small office in the south west corner of the building. Three dedicated parking stalls will also be located at the southwest corner of the site.

*Site Plan Layout.* The applicant has provided a floor plan and a site plan showing the locations of the proposed dealership. The location of the dealership on the site in the existing structure will not result in any new construction or alterations to the site or structure.

Criteria For Approval. The criteria for review and potential approval of a Conditional Use Permit request is found in Sections 7-5-3(3) and (4) of the Tooele City Code. This section depicts the standard of review for such requests as:

- (3) Procedure. At the public hearing, testimony may be given by the applicant and all other persons either in support of or in opposition to the application. The Planning Commission may take the application under advisement, but shall render its determination within 30 days of the date of the hearing.
- (4) Approval. The Planning Commission shall approve the conditional use application if reasonable conditions are proposed, or can be imposed, to mitigate the reasonably anticipated detrimental effects of the proposed use. If the reasonably anticipated detrimental effects of a proposed conditional use cannot be substantially mitigated by the proposal or the imposition of reasonable conditions to achieve compliance with applicable standards, the conditional use may be denied.

Findings of Fact. As a part of the approval or denial of a Conditional Use Permit a finding of fact according to Sections 7-5-4 of the Tooele City Code is required. This section depicts the standard for findings of fact:

Prior to approving or denying a Conditional Use Permit application, the Planning Commission shall make, in the business meeting at which the public hearing is conducted or the permit is approved or denied, a finding of the following facts:

- (1) the reasonably anticipated detrimental effects of the proposed use upon adjacent and nearby persons and properties;
- (2) the evidence identified regarding the identified reasonably anticipated detrimental effects of the proposed use;
- (3) the reasonable conditions imposed, as part of the Conditional Use Permit approval, intended to mitigate the reasonably anticipated detrimental effects of the proposed use;
- (4) the reasons why the imposed conditions are anticipated or hoped to mitigate the reasonably anticipated detrimental effects of the proposed use;
- (5) the evidence, if any, identified regarding the ability of the imposed conditions to mitigate the reasonably anticipated detrimental effects of the proposed use.

In response to the City Code requirement for findings of fact, the following are the staff identified detrimental effects this application, should it be approved, may impose upon adjacent and nearby persons and property :

1. The applicant has stated that the intent under this proposed Conditional Use Permit is to set up a small automobile sales dealership and is required by the State of Utah to have an office and location to display vehicles. The applicant will need to maintain a business license and State dealership license to keep the dealership legal.

## **REVIEWS**

Planning Division Review. The Tooele City Planning Division has completed their review of the Conditional Use Permit submission and has issued a recommendation for approval for the request with the following comment.

1. The dealership being mostly online sales will generate very little (if any) activity at the site. Unless the applicant starts displaying and selling numerous vehicles on the site, staff cannot identify any problems that may result from the approval of this Conditional Use Permit.

Engineering and Public Works Division Reviews. The Tooele City Engineering Division and Public Works Division do not typically review Conditional Use Permits and therefore have not issued any comments regarding this proposed automobile dealership.

*Tooele City Fire Department Review.* The Tooele City Fire Department has completed their review of the Conditional Use Permit submission and has issued a recommendation for approval denial for the request with the following proposed conditions comments without further comment:

1. Fire Department Access is Required. An unobstructed minimum road width of 25’ and a minimum height of 13’-6” shall be required. The road must be designed and maintained to support the imposed loads of emergency apparatus. The surface shall be able to provide all weather driving capabilities.

*Noticing.* The applicant has expressed their desire to obtain a Conditional Use Permit for the subject property and do so in a manner which is compliant with the City Code. As such, notice has been properly issued in the manner outlined in the City and State Codes.

### **STAFF RECOMMENDATION**

Staff recommends approval of the request for a Conditional Use Permit by Kishka Erekson, representing Sunny Holdings, application number P22-1168, subject to the following conditions:

1. The applicant shall maintain an active dealership license issued by the State of Utah and maintain an active business license issued by Tooele City.

This recommendation is based on the following findings:

1. The proposed development plans meet the intent, goals, and objectives of the Tooele City General Plan.
2. The proposed development plans meet the requirements and provisions of the Tooele City Code.
3. The proposed development plans will not be deleterious to the health, safety, and general welfare of the general public nor the residents of adjacent properties.
4. The proposed development conforms to the general aesthetic and physical development of the area.
5. The public services in the area are adequate to support the subject development.
6. The findings of fact for this proposed Conditional Use Permit request have been identified and the conditions proposed are intended to mitigate the reasonably anticipated detrimental impacts, as required by Tooele City Code Section 7-5-4.

### **MODEL MOTIONS**

Sample Motion for Approval – “I move we approve the Conditional Use Permit Request by Kishka Erekson, representing Sunny Holdings to authorize the use of “Automobile Sales and Rental” to occur at 494 South Main Street, application number P22-1168, based on the findings and subject to the conditions listed in the Staff Report dated October 18, 2022:”

1. List any additional findings of fact and conditions...

Sample Motion for Denial – “I move we deny the Conditional Use Permit Request by Kishka Erekson, representing Sunny Holdings to authorize the use of “Automobile Sales and Rental” to occur at 494 South Main Street, application number P22-1168, based on the following findings:”

1. List findings of fact ...

**EXHIBIT A**

**MAPPING PERTINENT TO THE  
ONLINE CAR SALES CONDITIONAL USE PERMIT**

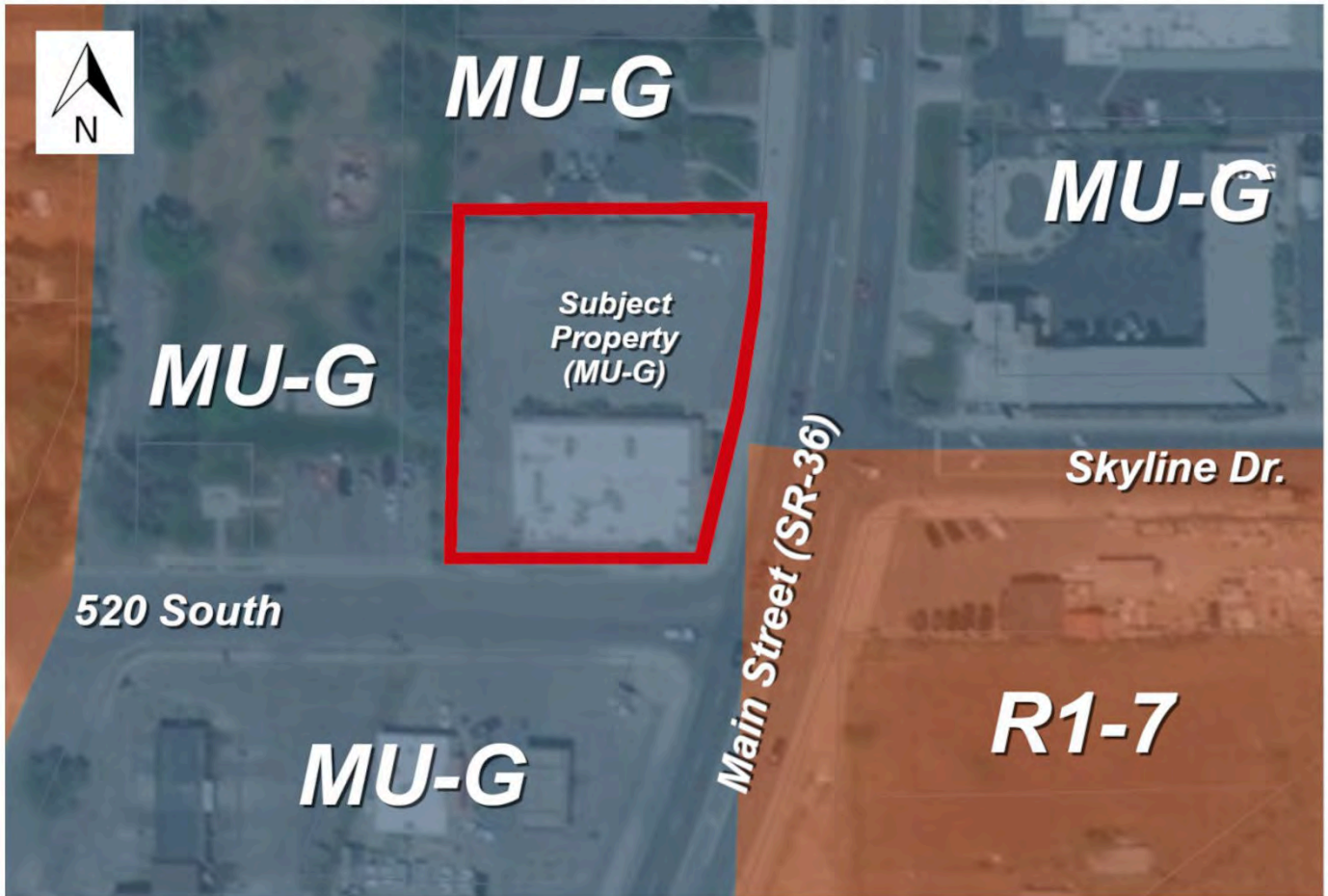
***Erekson Online Car Sales Conditional Use***



***Aerial View***



# Erekson Online Car Sales Conditional Use



**Current Zoning**

**EXHIBIT B**

**APPLICANT SUBMITTED INFORMATION**



# Conditional Use Permit Application

Community Development Department  
 90 North Main Street, Tooele, UT 84074  
 (435) 843-2132 Fax (435) 843-2139  
[www.tooelecity.org](http://www.tooelecity.org)



*Notice:* The applicant must submit copies of the pertinent plans and documents to be reviewed by the City in accordance with the terms of the Tooele City Code. All submitted Conditional Use Permit applications shall be reviewed in accordance with all applicable City ordinances and requirements, are subject to compliance reviews by various City departments, and may be returned to the applicant for revision if the plans are found to be inadequate or inconsistent with the requirements of the City Code. Application submission in no way guarantees placement of the application on any particular agenda of any City reviewing body. It is **strongly** advised that all checklist items be submitted well in advance of any anticipated deadlines.

Project Information					
Date of Submission: 10/6/2022		Current Zoning:		Parcel #(s): 8-027-0-007; 08-027-0-0012	
Project Name: Online Car Sales				Acres: 0.96	
Project Address: 494 South main Tooele UT				Units:	
Project Description: Occupy a small back office					
Current Use of Property: Mexican Rest.					
Property Owner(s): Kishka Ereksaw / Sunny Holdings			Applicant(s): (Same as)		
Address: 494 South Main			Address:		
City: Tooele	State: UT	Zip: 84074	City:	State:	Zip:
Phone: 801-310-6621			Phone:		
Contact Person:			Address:		
Phone:			City:	State:	Zip:
Cellular:		Fax:		Email: Kishka e@hotmail.com	
Signature of Applicant:					
Date 10-6-2022					

\*The application you are submitting will become a public record pursuant to the provisions of the Utah State Government Records Access and Management Act (GRAMA). You are asked to furnish the information on this form for the purpose of identification and to expedite the processing of your request. This information will be used only so far as necessary for completing the transaction. If you decide not to supply the requested information, you should be aware that your application may take a longer time or may be impossible to complete. If you are an "at-risk government employee" as defined in *Utah Code Ann.* § 63-2-302.5, please inform the city employee accepting this information. Tooele City does not currently share your private, controlled or protected information with any other person or government entity.

\*\* By submitting this application form to the City, the applicant acknowledges that the above list is not exclusive and under no circumstances waives any responsibility or obligation of the Applicant and or his Agents from full compliance with City Master Plans, Code, Rules and or Regulations.

For Office Use Only			
Fee: \$600.00 (213)	Received By: Hunter	Date Received: 10/6/22	Receipt #: 570478







1 SITE PLAN  
1" = 20'-0"

SITE INFORMATION	
DAYCARE	
PARKING STALLS:	24
ADA PARKING STALLS:	3
ONLINE AUTOMOTIVE DEALER	
PARKING STALLS:	3
ADA PARKING STALLS:	0



KKL ARCHITECTS, LLC  
 6569 W. BURGH WAY  
 HIGHLAND, UT 84003  
 TELEPHONE (801) 558-7558

**SHEERAN CONSULTING, LLP**  
 2312 SOUTH 2000 WEST  
 WOODS CROSS, UT 84087  
 801 467-8111  
 www.sheeranconsulting.com  
 SERVICES:  
 • ARCHITECTURAL DESIGN  
 • CONSTRUCTION MANAGEMENT  
 • ENVIRONMENTAL ENGINEERING  
 • GENERAL CONTRACTING  
 • INTERIOR DESIGN  
 • LANDSCAPE ARCHITECTURE  
 • PLANNING  
 • PROJECT MANAGEMENT  
 • SURVEYING



**CLIENT NAME:**  
 SUNNY CENTER DAYCARE  
 KISHKA ERICKSON  
**PROJECT ADDRESS:**  
 494 S MAIN ST.  
 TOOEELE, UT 84074

SEAL

TO BE PRINTED ON 24x36 SIZE SHEET OF PAPER

No.	Description	Date
A1	ISSUED FOR CUP	5-12-2022

**PROJECT**  
 SUNNY CENTER DAYCARE  
 KISHKA ERICKSON

**DRAWING NAME**  
 SITE PLAN

Project number 220418  
 Date 4-18-2022  
 Drawn by PS  
 Checked by DS

**C101**

Scale 1" = 20'-0"

**STAFF REPORT**

October 19, 2022

**To:** Tooele City Planning Commission  
Business Date: October 26, 2022

**From:** Planning Division  
Community Development Department

**Prepared By:** Andrew Aagard, City Planner / Zoning Administrator

**Re: The Villas at Sunset Estates – Site Plan Design Review Request**

Application No.: P22-985  
Applicant: Russ Tolbert, representing Hallmark Homes  
Project Location: 2000 North Berra Boulevard  
Zoning: MR-8 Multi-Family Residential Zone  
Acreage: 4.61 Acres (Approximately 200,811 ft<sup>2</sup>)  
Request: Request for approval of a Site Plan Design Review in the MR-8 Multi-Family Residential zone regarding a residential town house development at the north west corner of the intersection of 2000 North and Berra Boulevard.

**BACKGROUND**

This application is a request for approval of a Site Plan Design Review for approximately 4.61 acres north west of the intersection of 2000 North Berra Boulevard. The property is currently zoned MR-8 Multi-Family Residential. The applicant is requesting that a Site Plan Design Review be approved to allow for the development of the currently vacant site as 36 residential town homes and accommodating open space, parking areas and private roads.

**ANALYSIS**

*General Plan and Zoning.* The Land Use Map of the General Plan calls for the High Density Residential land use designation for the subject property. The property has been assigned the MR-8 Multi-Family Residential zoning classification, supporting approximately eight dwelling units per acre. The MR-8 Multi-Family Residential zoning designation is identified by the General Plan as a preferred zoning classification for the High Density Residential land use designation. Properties to the north and east are zoned R1-8 Residential and are utilized as single-family residential and an elementary school. Properties to the east are zoned GC General Commercial and will ultimately be part of the Deseret Peak High School. Properties to the south are zoned P Overlake and are utilized as single-family residential and neighborhood commercial. Mapping pertinent to the subject request can be found in Exhibit “A” to this report.

The Planning Commission has already reviewed and approved the Preliminary Subdivision Plan for this project. Much what will be seen as part of this site plan review will have already been seen as the Preliminary Subdivision Plan dictates how the site plan will be designed. However, the site plan delves deeper into site development issues such as parking, landscaping, fencing and building architecture where the Preliminary Subdivision Plan focuses mainly on the creation of lots and common areas.

*Site Plan Layout.* The site plan proposes the construction of 36 town homes oriented primarily north to



south facing east and west. The town homes will be front loaded style town homes, each with a two car enclosed garage and a 20 foot long driveway able to accommodate two parked cars. The site has two connections, one being at the north east corner of the development connecting to Berra Boulevard. The second will be at the south west corner of the development connecting to 2000 North. All roads on the interior of the project will be privately owned roads and will be maintained by the development HOA.

Subdivision Layout. The subdivision follows the exact same layout as the site plan with the individual lots being the foot print of each town house. The subdivision plans have already been approved by the City.

Landscaping. Thirty Seven percent of the site is proposed as landscaping or common open space areas and will be primarily covered with irrigated turf or sod. Trees have been placed adjacent to the roads, in common areas, adjacent to and in between buildings as required by Tooele City multi-family residential design guidelines. The development will install 93 trees including a mix of deciduous and coniferous evergreen trees.

Shrub beds are included at the front of each building, adjacent to driveways and along all perimeter fencing and meets the minimum amount of shrub beds required by City ordinances. Shrub beds will include the planting of 315 deciduous and coniferous evergreen trees.

Landscaping areas, tree plantings and shrub beds all meet or exceed ordinance requirements for quantities, ground covers and locations.

Amenities. Design guidelines require at least 1 amenity for multi-family residential developments less than 50 units. At 36 units this development is required to have just one amenity included. The applicant is including a picnic area with tables.

Parking. There is ample parking on the site to satisfy the needs of the development. Each unit includes an enclosed 2 car garage as well as a driveway capable of parking two vehicles for a total parking count of 4 parking spaces per unit. At 36 units the guest parking requirement is 9 parking stalls. This development is providing 41 guest parking stalls largely located at the center of the development with 9 guest parking stalls located closer to the southernmost units. This greatly exceeds the parking requirement of Tooele City's Multi-family residential design guidelines.

Architecture. The development proposes the construction of buildings consisting of four attached town homes. The buildings are two story, front loaded with plenty of variation in roofline height and horizontal articulation on both the front and rear facades. Front facades include numerous "pop outs" around windows which helps to identify one town home from the next. Rear facades have less horizontal articulation but still maintain unit definition and extended floor space at the building entrances.

Exterior building materials meet or exceed the Tooele City Multi-Family Residential design guidelines in the amount of brick required on all exterior walls. The front façade meets the minimum brick / stone coverage requirement of 60%. Other exterior materials include hardie board lap siding, stucco, board and batten vertical siding and shake style siding. These materials are lesser used materials and are primarily accent materials where the brick is the primary exterior material used.

Building architecture meets or exceeds all minimum requirements for vertical height variation, horizontal relief and variation, exterior materials, etc, as required by the Tooele City Multi-Family Residential design guidelines.

Signage. Tooele City’s multi-family residential design guidelines require that multi-family residential developments such as this include lighted entry monument signs designating the name of the development at each point of entry. The plans do not show any indication of an entry sign at either entrance. Signs matching the architecture of the building will need to be added at each entrance.

Fencing. When multi-family residential developments are adjacent to single-family residential zones, Tooele City ordinances require a 6 foot sight obscuring fence including masonry piers placed at equally spaced intervals throughout the fence along these boundaries. The north and the west property lines of this project are proposed to have the appropriate fencing installed. The development will be installing 6 foot solid vinyl fencing along Berra Boulevard and 200 North. This is not an ordinance requirement but is a choice of the developer and is considered an upgrade in fencing from what is required by the City’s ordinance.

Criteria For Approval. The criteria for review and potential approval of a Site Plan Design Review request is found in Sections 7-11-6, 8 and 9 of the Tooele City Code. This section depicts the standard of review for such requests as:

Site Plan or Site Plan Amendment 7-11-6, 8, and 9

Section 7-11-6. Approval. The Planning Commission, shall determine whether the proposed architectural and site development plans submitted are consistent with [Chapter 7-11 TCC] and with the general policies and objectives of [Title 7 TCC], and shall give or withhold approval accordingly. Before making this determination, the Planning Commission shall receive the written recommendations of the City Engineer, the Accessibility Committee, and the Fire Chief. Such recommendation may be by letter, memorandum, or signature on the plans.

Section 7-11-8. Considerations in review of applications. The Planning Commission and the Engineering Department shall consider the following matters, among others, in their review of applications:

- (1) Considerations relating to traffic safety and traffic congestion:
  - (a) The effect of the site development plan on traffic conditions on abutting streets.
  - (b) The layout of the site with respect to locations and dimensions of vehicular and pedestrian entrances, exits, drives, and walkways.
  - (c) The arrangement and adequacy of off-street parking facilities to prevent traffic congestion.
  - (d) The location, arrangement, and dimensions of truck loading and unloading facilities.
  - (e) The circulation patterns within the boundaries of the development.
  - (f) The surfacing and lighting of off-street parking facilities.
- (2) Considerations relating to outdoor advertising:
  - (a) The number, location, color, size, height, lighting, and landscaping of outdoor advertising signs and structures in relation to the creation of traffic hazards and the appearance and harmony with neighboring development.
- (3) Considerations relating to landscaping:
  - (a) The location, height, and materials of walls, fences, hedges, and screen plantings to insure harmony with neighboring development, or to conceal storage areas, utility installations, or other unsightly development.
  - (b) The planting of ground cover or other surfacing to prevent dust and erosion.
  - (c) The unnecessary destruction of existing healthy trees.



- (4) Considerations relating to buildings and site layout:
  - (a) Consideration of the general silhouette and mass, including location on the site, elevations, and relation to natural plant coverage, all in relationship to neighboring development.
  - (b) Consideration of exterior design in relation to adjoining structures in height, bulk, and area openings, breaks in facade facing on streets, line and pitch of roofs, and the arrangement of structures on the parcel.
- (5) Considerations relating to drainage:
  - (a) The effect of the site development plan on the adequacy of the storm and surface water drainage, retention, and/or detention.

Section 7-11-9. Considerations. The Planning Commission, or the City Engineer, when authorized, shall decide all applications for design review. Design approval may include such conditions consistent with the considerations of [Chapter 7-11 TCC] as the Planning Commission or City Engineer deem reasonably necessary under the circumstances to carry out the intent of [Chapter 7-11 TCC].

## **REVIEWS**

*Planning Division Review.* The Tooele City Planning Division has completed their review of the Site Plan Design Review submission and has issued a recommendation for approval for the request with the following proposed conditions:

1. Lighted development identification monument signs of similar appearance to that of the buildings needs to be installed at each project entrance.

*Engineering & Public Works Review.* The Tooele City Engineering and Public Works Divisions have completed their reviews of the Site Plan Design Review submission and have issued a recommendation for approval for the request.

*Tooele City Fire Department Review.* The Tooele City Fire Department has completed their review of the Site Plan Design Review submission and has issued a recommendation for approval for the request.

*Noticing.* Site Plan Design Reviews do not require a public hearing and are therefore not required to be noticed to the public.

## **STAFF RECOMMENDATION**

Staff recommends approval of the request for a Site Plan Design Review by Russ Tolbert, representing Hallmark Homes, application number P22-985, subject to the following conditions:

1. That all requirements of the Tooele City Engineering and Public Works Divisions shall be satisfied throughout the development of the site and the construction of all buildings on the site, including permitting.
2. That all requirements of the Tooele City Building Division shall be satisfied throughout the development of the site and the construction of all buildings on the site, including permitting.
3. That all requirements of the Tooele City Fire Department shall be satisfied throughout the development of the site and the construction of all buildings on the site.
4. That all requirements of the geotechnical report shall be satisfied throughout the development of the site and the construction of all buildings on the site.

5. That lighted development identification monument signs of similar appearance to that of the buildings needs to be installed at each project entrance.

This recommendation is based on the following findings:

1. The proposed development plans meet the intent, goals, and objectives of the Tooele City General Plan.
2. The proposed development plans meet the requirements and provisions of the Tooele City Code.
3. The proposed development plans will not be deleterious to the health, safety, and general welfare of the general public nor the residents of adjacent properties.
4. The proposed development conforms to the general aesthetic and physical development of the area.
5. The public services in the area are adequate to support the subject development.
6. The proposed development meets or exceeds the minimum requirements of the Tooele City Multi-Family Residential design guidelines.

### **MODEL MOTIONS**

Sample Motion for Approval – “I move we approve the Site Plan Design Review Request by Russ Tolbert, representing Hallmark Homes for The Villas at Sunset Estates Townhomes, application number P22-985, based on the findings and subject to the conditions listed in the Staff Report dated October 19, 2022:”

1. List any additional findings and conditions...

Sample Motion for Denial – “I move we deny the Site Plan Design Review Request by Russ Tolbert, representing Hallmark Homes for The Villas at Sunset Estates Townhomes, application number P22-985, based on the following findings:”

1. List findings...

**EXHIBIT A**

**MAPPING PERTINENT TO THE THE VILLAS AT SUNSET ESTATES SITE PLAN  
DESIGN REVIEW**

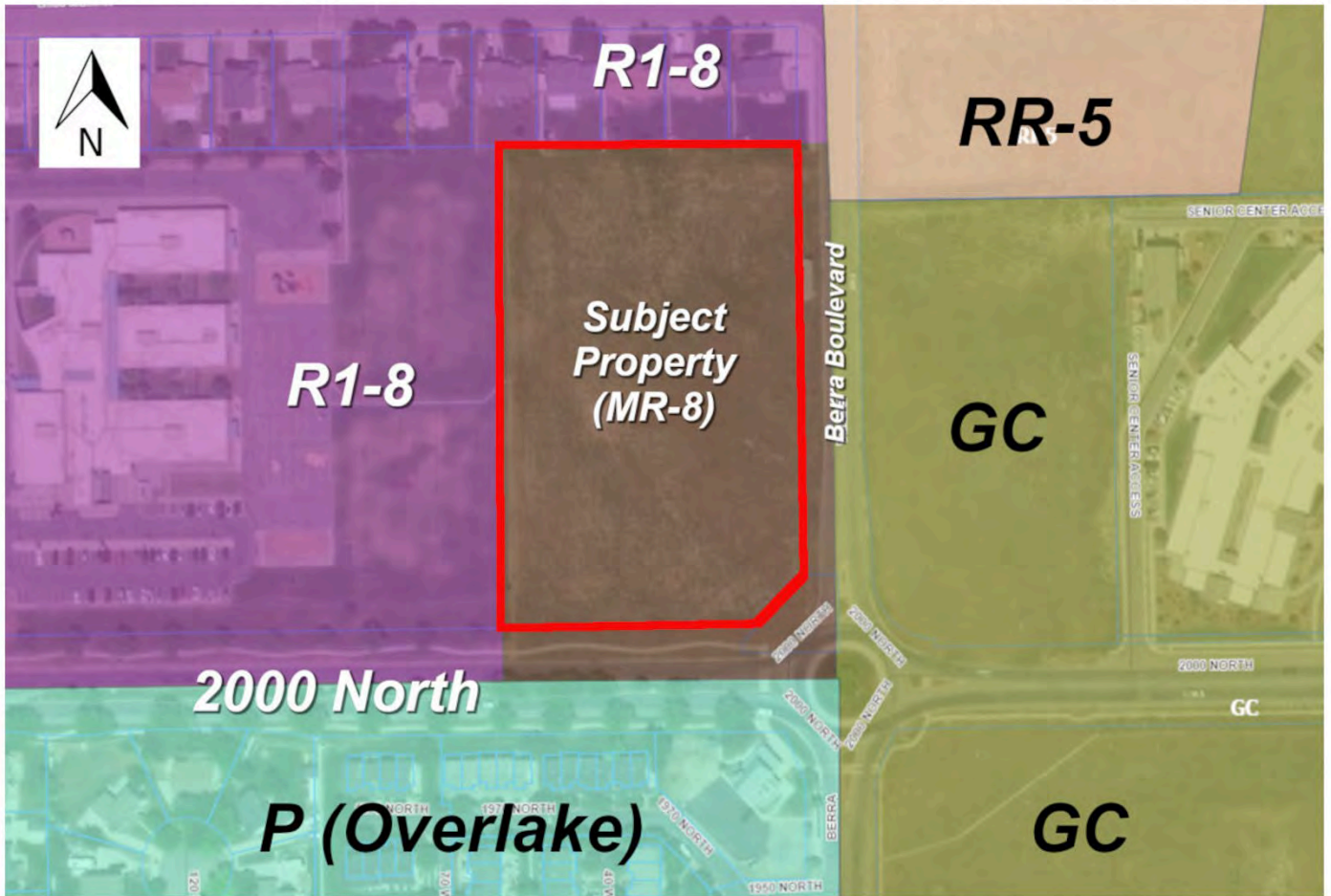
***The Villas at Sunset Estates Site Plan Design Review***



***Aerial View***



# The Villas at Sunset Estates Site Plan Design Review



**Current Zoning**

**EXHIBIT B**

**PROPOSED DEVELOPMENT PLANS &  
APPLICANT SUBMITTED INFORMATION**

Site Plan Application  
 Community Development Department  
 90 North Main Street, Tooele, UT 84074  
 (435) 843-2132 Fax (435) 843-2139  
[www.tooelecity.org](http://www.tooelecity.org)



*Notice:* The applicant must submit copies of the site plans to be reviewed by the City in accordance with the terms of the Tooele City Code. Once a set of site plans are submitted, the plans are subject to compliance reviews by the various city departments and may be returned to the applicant for revision if the plans are found to be inconsistent with the requirements of the City Code and all other applicable City ordinances. All submitted preliminary plan proposals shall be reviewed in accordance with the Tooele City Code. Submission of site plans in no way guarantees placement of the application on any particular agenda of any City reviewing body. It is **strongly** advised that all plans be submitted well in advance of any anticipated deadlines.

Project Information						22-995	
Date of Submission: 8-8-2022	Submittal #: <input checked="" type="checkbox"/> 1 <input type="checkbox"/> 2 <input type="checkbox"/> 3 <input type="checkbox"/> 4	Zone:	Acres: 4.61	Parcel #(s): 14-060-0-0005			
Project Name: The Village at Sunset Estates							
Project Address: 2000N Berra Blvd							
Project Description: 36 Townhome lots				Phases: 1	Lots: 36		
Property Owner(s): Hallmark Homes				Applicant(s): Same			
Address: 2964 W. 4700 S. #112A				Address:			
City: SLC	State: UT	Zip: 84129	City:	State:	Zip:		
Phone: 801-232-8900	Email: Russ@hallmarkhomesutah.com			Phone:	Email:		
Contact Person: Russ Tolbert				Address: Same			
Phone:				City:	State:	Zip:	
Cellular: 801-232-8900	Fax: 801-967-1500	Email: Russ@hallmarkhomesutah.com					
Engineer & Company: Focus Engineering				Surveyor & Company: Same			
Address: 6949 S. High Tech Dr #200				Address:			
City: SLC	State: UT	Zip: 84047	City:	State:	Zip:		
Phone: 801-352-0075	Email:			Phone:	Email:		

\*The application you are submitting will become a public record pursuant to the provisions of the Utah State Government Records Access and Management Act (GRAMA). You are asked to furnish the information on this form for the purpose of identification and to expedite the processing of your request. This information will be used only so far as necessary for completing the transaction. If you decide not to supply the requested information, you should be aware that your application may take a longer time or may be impossible to complete. If you are an "at-risk government employee" as defined in *Utah Code Ann. § 63-2-302.5*, please inform the city employee accepting this information. Tooele City does not currently share your private, controlled or protected information with any other person or government entity.

Note:

- A new application and checklist must accompany each submittal.
- Developer must submit plans in complete format to facilitate their review. Plans will be reviewed by the City staff, once they are found complete, they will be forwarded to Planning Commission for consideration. (as necessary)
- All fees must be paid at time of first submittal

For Office Use Only				2220994	
Received By:		Date Received:		App. #:	
City Planner Review		City Engineer Review		Date	
First Review Corrections Needed <input type="checkbox"/> Yes <input type="checkbox"/> No		Date Plans & Comments Returned			
Second Review Corrections Needed <input type="checkbox"/> Yes <input type="checkbox"/> No		Date Plans & Comments Returned			
Planning Commission Date		<input type="checkbox"/> Approved <input type="checkbox"/> Denied		Decision Date	



# THE VILLAS AT SUNSET ESTATES TOWNHOMES

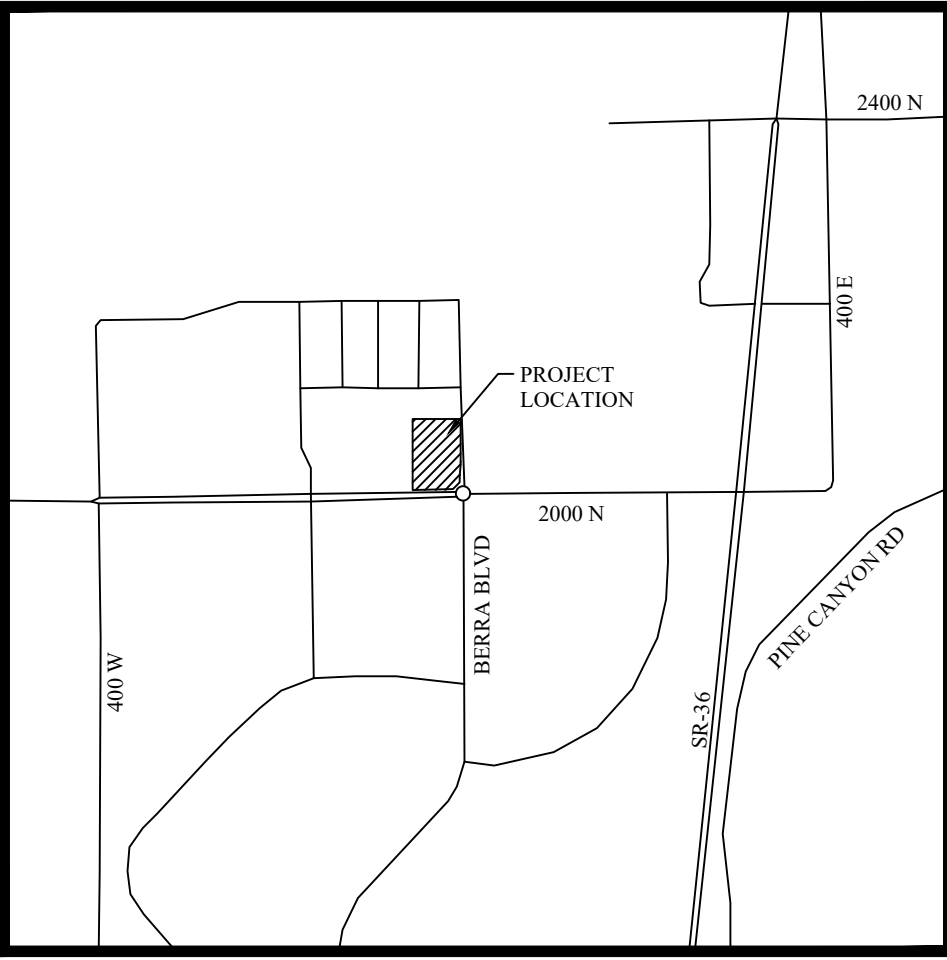
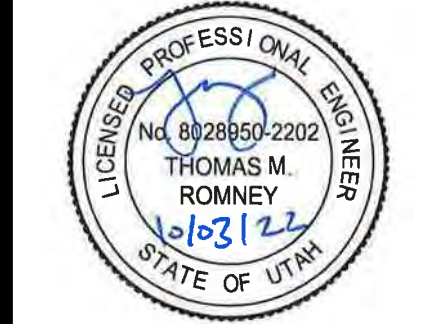
PREPARED FOR:  
**HALLMARK HOMES**  
LOCATED IN:  
**TOOELE CITY, UTAH**



GRAPHIC SCALE

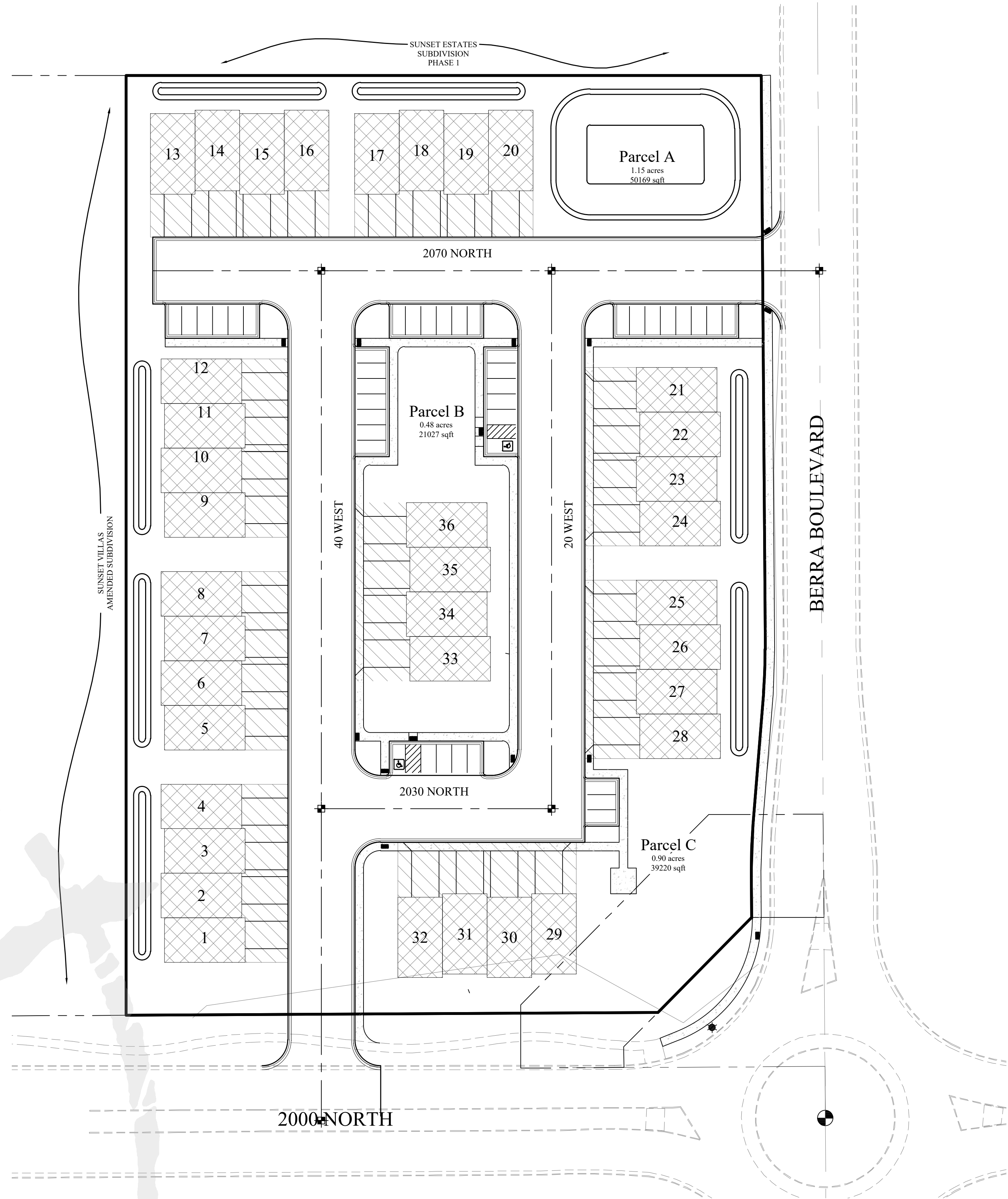
(IN FEET)  
1 inch = 40 ft.

**FOCUS**<sup>®</sup>  
ENGINEERING AND SURVEYING, LLC  
6949 S. HIGH TECH DRIVE SUITE 200  
MIDVALE, UTAH 84047 PH: (801) 552-0075  
www.focus Utah.com



VICINITY MAP

Sheet List Table	
Sheet Number	Sheet Title
C1	COVER SHEET
C2	FINAL PLAT
C3	SITE PLAN
C3.1	VEHICLE TRACKING
C4	GRADING PLAN
C4.1	GRADING PLAN
C5	DRAINAGE PLAN
C5.1	DRAINAGE PLAN
C5.2	DRAINAGE PLAN
C6	SEWER PLAN
C7	WATER PLAN
C8	EROSION CONTROL PLAN
PP01	2070 NORTH
PP02	40 WEST
PP03	40 WEST
PP04	20 WEST
PP05	2030 NORTH
L1	LANDSCAPE PLAN
L2	LANDSCAPE PLAN
L3	IRRIGATION PLAN
L4	IRRIGATION.SCHEDULE & DETAILS



SITE MAP

**GENERAL NOTES**

- CONTRACTOR TO FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION, AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
- ANY AND ALL DISCREPANCIES IN THESE PLANS ARE TO BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL CONSTRUCTION SHALL ADHERE TO TOOELE CITY STANDARD PLANS AND SPECIFICATIONS.
- ALL UTILITIES AND ROAD IMPROVEMENTS SHOWN ON THE PLANS HEREIN SHALL BE CONSTRUCTED USING REFERENCE TO SURVEY CONSTRUCTION STAKES PLACED UNDER THE SUPERVISION OF A PROFESSIONAL LICENSED SURVEYOR WITH A CURRENT LICENSE ISSUED BY THE STATE OF UTAH. ANY IMPROVEMENTS INSTALLED BY ANY OTHER VERTICAL OR HORIZONTAL REFERENCE WILL NOT BE ACCEPTED OR CERTIFIED BY THE ENGINEER OF RECORD.

5. THIS DRAWING SET IS SCALED TO BE PRINTED ON A 24" X 36" SIZE OF PAPER (ARCH. D), IF PRINTED ON A SMALLER PAPER SIZE, THE DRAWING WILL NOT BE TO SCALE AND SHOULD NOT BE USED TO SCALE MEASUREMENTS FROM THE PAPER DRAWING. ALSO USE CAUTION, AS THERE MAY BE TEXT OR DETAIL THAT MAY BE OVERLOOKED DUE TO THE SMALL SIZE OF THE DRAWING.

**NOTICE**

BEFORE PROCEEDING WITH THIS WORK, THE CONTRACTOR SHALL CAREFULLY CHECK AND VERIFY ALL CONDITIONS, QUANTITIES, DIMENSIONS, AND GRADE ELEVATIONS, AND SHALL REPORT ALL DISCREPANCIES TO THE ENGINEER.

**ENGINEER'S NOTES TO CONTRACTOR**

- THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN ON THESE DRAWINGS. THE CONTRACTOR FURTHER ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR THE UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN OR NOT SHOWN ON THESE DRAWINGS. IF UTILITY LINES ARE ENCOUNTERED DURING CONSTRUCTION THAT ARE NOT IDENTIFIED BY THESE PLANS, CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY.
- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE CITY, THE OWNER, AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
- UNAUTHORIZED CHANGES & USES: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.
- ALL CONTOUR LINES SHOWN ON THE PLANS ARE AN INTERPRETATION BY CAD SOFTWARE OF FIELD SURVEY WORK PERFORMED BY A LICENSED SURVEYOR. DUE TO THE POTENTIAL DIFFERENCES IN INTERPRETATION OF CONTOURS BY VARIOUS TYPES OF GRADING SOFTWARE BY OTHER ENGINEERS OR CONTRACTORS, FOCUS DOES NOT GUARANTEE OR WARRANT THE ACCURACY OF SUCH LINework. FOR THIS REASON, FOCUS WILL NOT PROVIDE ANY GRADING CONTOURS IN CAD FOR ANY TYPE OF USE BY THE CONTRACTOR. SPOT ELEVATIONS AND PROFILE ELEVATIONS SHOWN IN THE DESIGN DRAWINGS GOVERN ALL DESIGN INFORMATION ILLUSTRATED ON THE APPROVED CONSTRUCTION SET. CONSTRUCTION EXPERTISE AND JUDGMENT BY THE CONTRACTOR IS ANTICIPATED BY THE ENGINEER TO COMPLETE BUILD-OUT OF THE INTENDED IMPROVEMENTS.

**CONTACTS**

**ENGINEER & SURVEYOR**  
FOCUS ENGINEERING & SURVEYING, LLC  
6949 S. HIGH TECH DRIVE SUITE 200  
MIDVALE, UTAH 84047  
(801) 552-0075  
PROJECT MANAGER: MATT CHRISTENSEN  
SURVEY MANAGER: JUSTIN LUNDBERG

**OWNER/DEVELOPER**  
HALLMARK HOMES  
2964 WEST 4700 SOUTH SUITE 1  
SALT LAKE CITY, UTAH 84118  
(801) 232-8900  
CONTACT: RUSS TOLBERT



THE VILLAS AT SUNSET ESTATES TOWNHOMES  
TOOELE CITY, UTAH  
COVER SHEET

REVISION BLOCK	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		

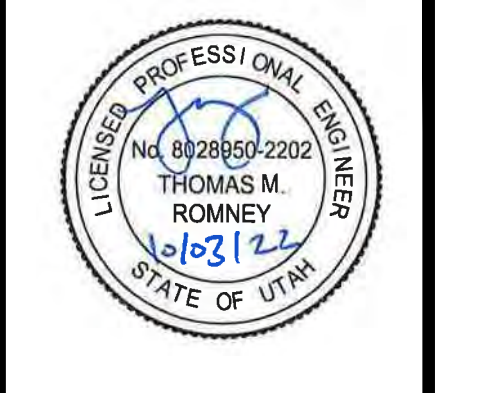
**COVER SHEET**

Scale: 1"=40' Drawn: MEC  
Date: 10/03/22 Job #: 16-338

Sheet: **C1**

Z:\2016\16-338 Hallmark-Berra Blvd Townhomes\cover-sheet\16-338-04-gwg-sheet\C1-COVER SHEET.dwg





**THE VILLAS AT SUNSET ESTATES TOWNHOMES**  
TOOELE CITY, UTAH  
**SITE PLAN**

REVISION BLOCK	
#	DESCRIPTION
1	
2	
3	
4	
5	
6	

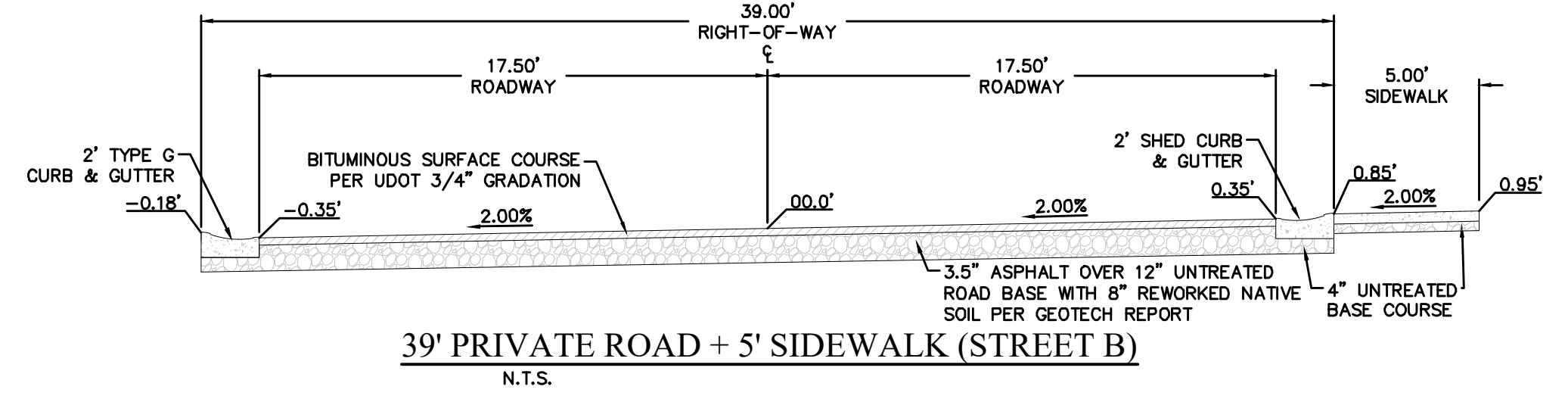
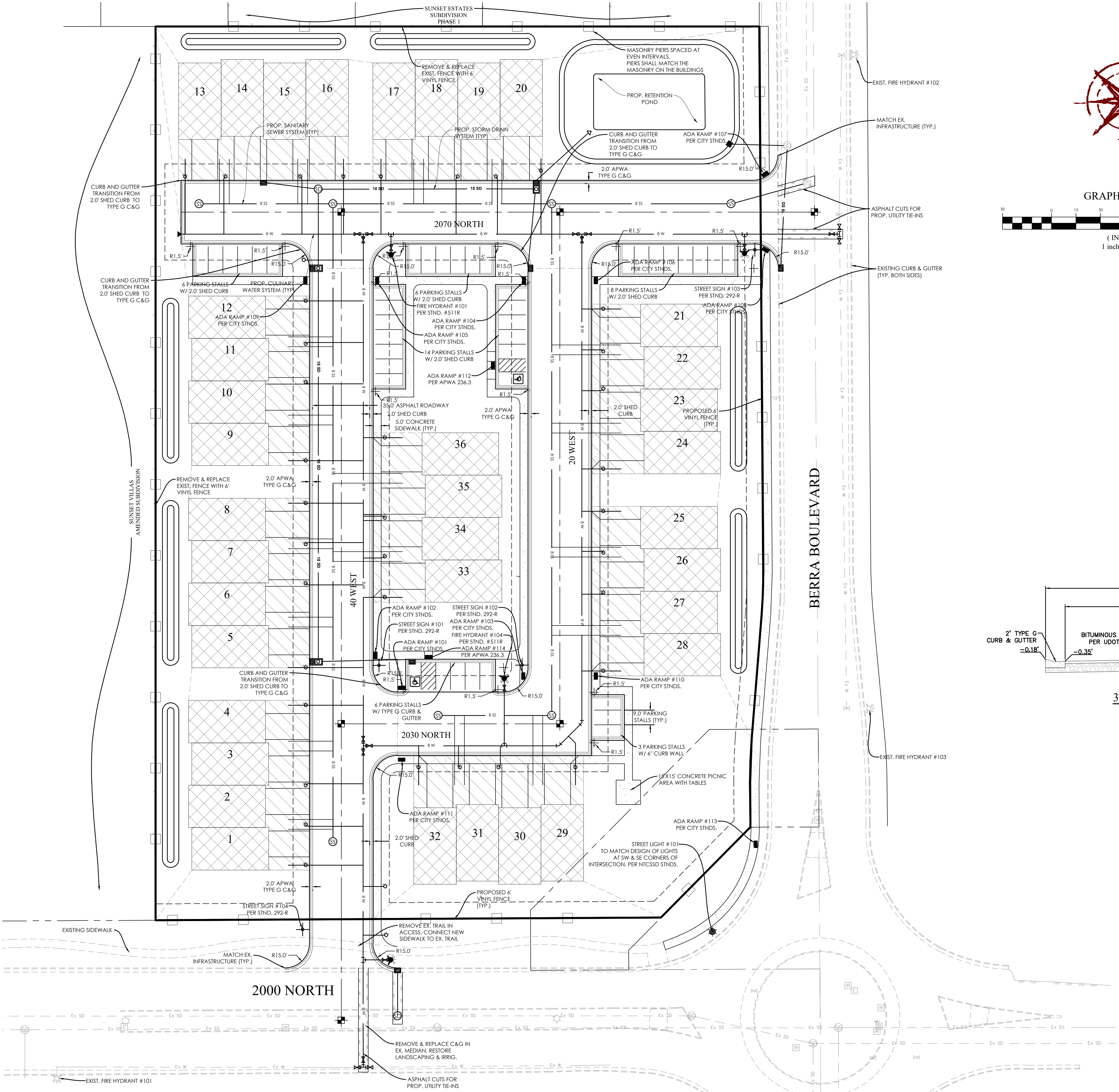
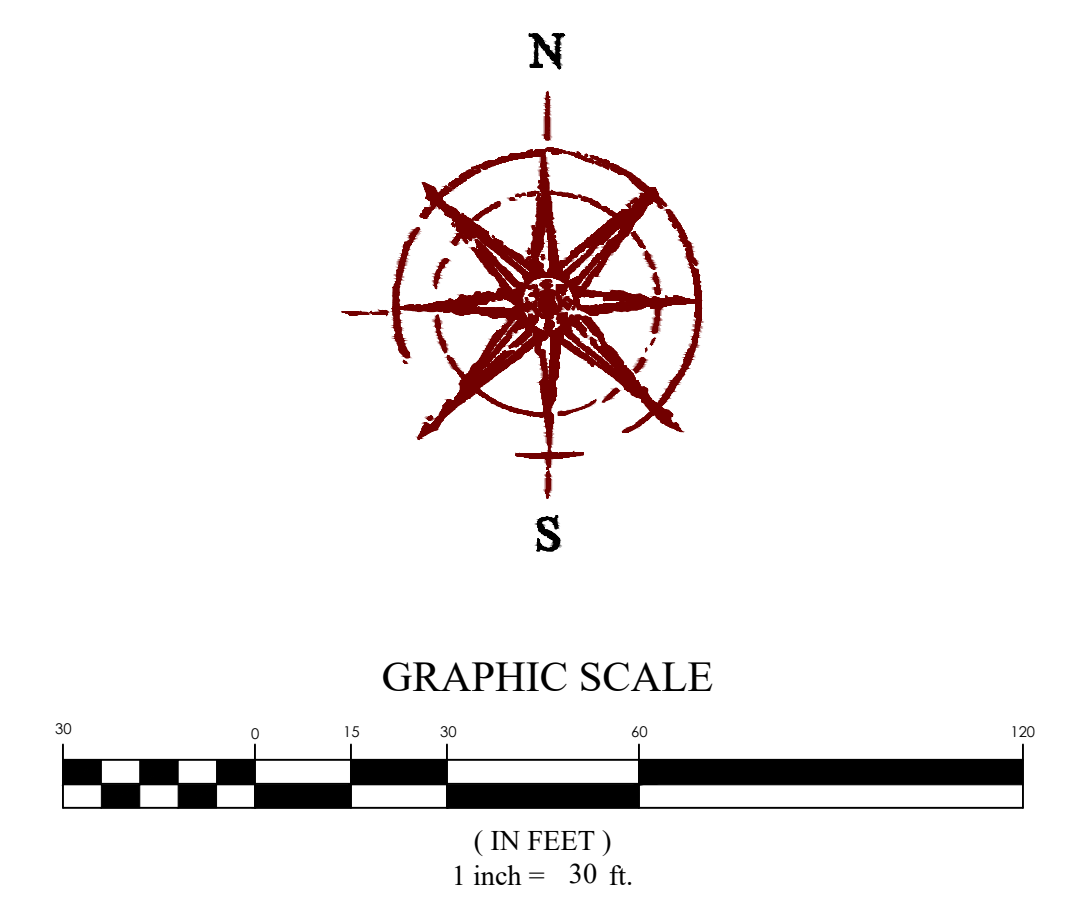
SITE PLAN	
Scale: 1"=30'	Drawn: MEC
Date: 10/03/22	Job #: 16-338
Sheet:	C3



**LEGEND**

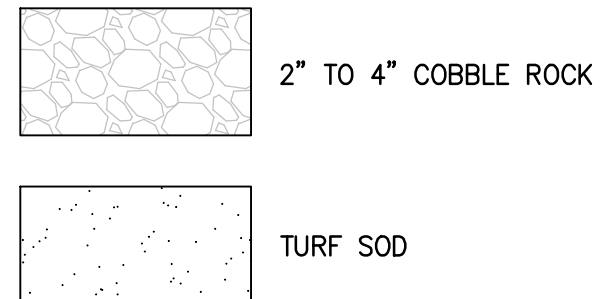
- BOUNDARY
- ROW
- CENTERLINE
- LOT LINE
- EASEMENT
- 15 SD 15" STORM DRAIN
- 8 SS 8" SANITARY SEWER
- 8 W 8" CULINARY WATER
- 8 SW 8" SECONDARY WATER
- XXXX CONTOUR MAJOR
- XXXX CONTOUR MINOR
- 6 MASONRY WALL
- EXIST. STORM DRAIN
- EXIST. SANITARY SEWER
- EXIST. CULINARY WATER
- EXIST. FENCE
- EXIST. CONTOUR MAJOR
- EXIST. CONTOUR MINOR
- SIGN
- STREET LIGHT
- SD MH, INLET, AND COMBO
- SEWER MANHOLE
- VALVE, TEE & BEND
- WATER BLOW-OFF
- FIRE HYDRANT
- STREET MONUMENT (TO BE SET)
- EXIST. STREET MONUMENT
- EXIST. SD INLET & MH
- EXIST. SEWER MH
- EXIST. VALVE, TEE, & BEND
- EXIST. FIRE HYDRANT
- SPOT ELEVATION

**GENERAL NOTE**  
1. ALL PARKING STALLS TO BE DESIGNED AND INSTALLED IN ACCORDANCE WITH ADA COMPLIANCE.





LEGEND

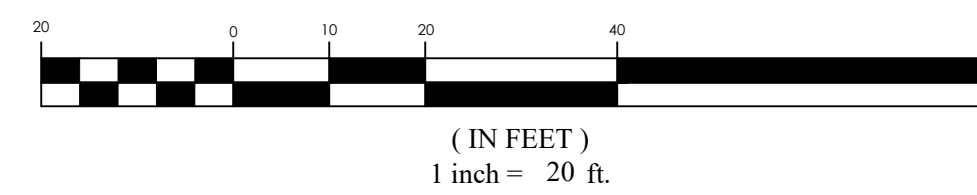


LANDSCAPE TABLE

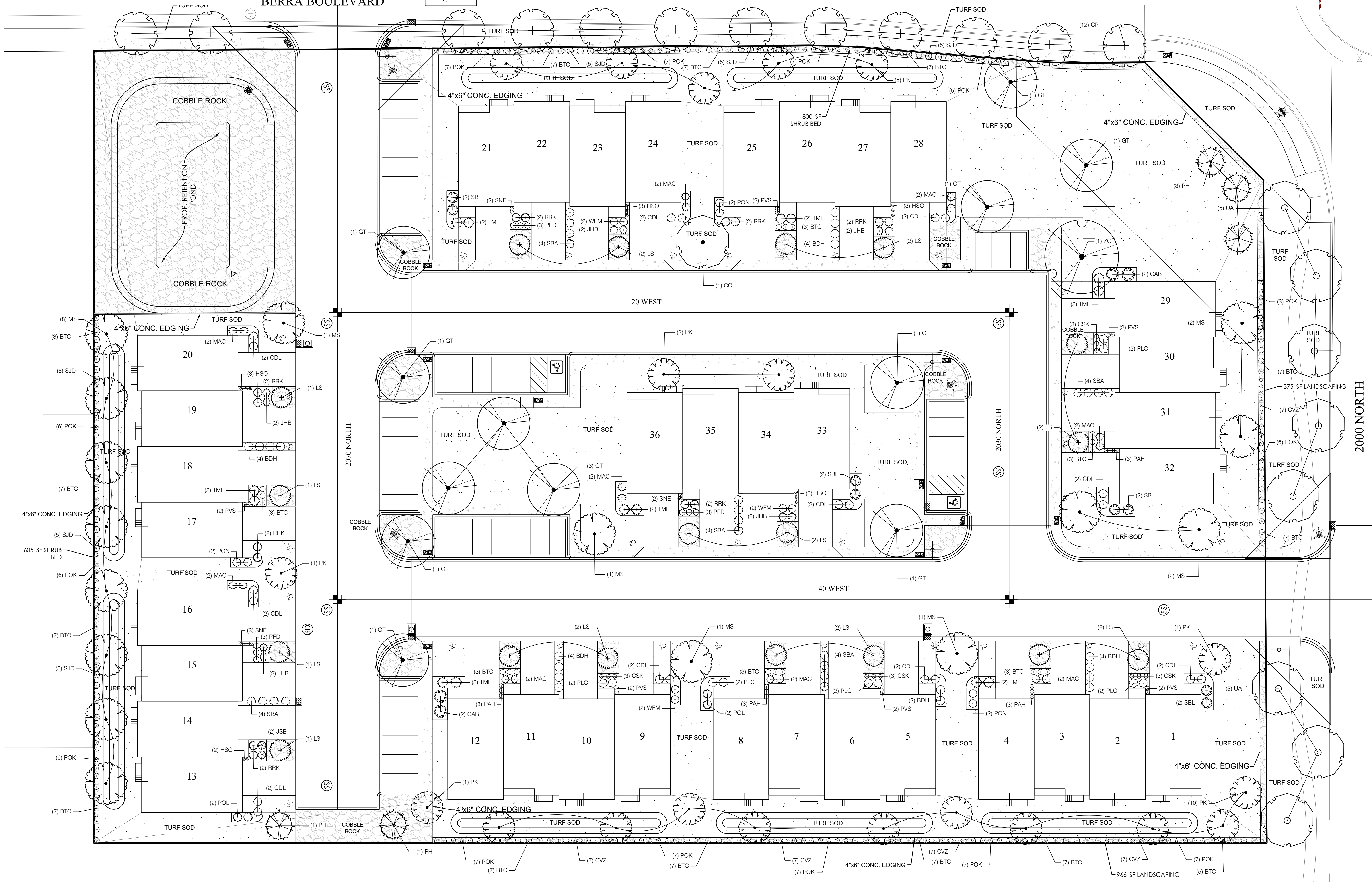
ITEM	AMOUNT	%
TOTAL LANDSCAPE AREA	76,121 SQ.FT.	100
LAWN (TURF GRASS)	50,628 SQ.FT.	67
BARK MULCH	4,143 SQ.FT.	5
ROCK MULCH	21,350 SQ.FT.	28



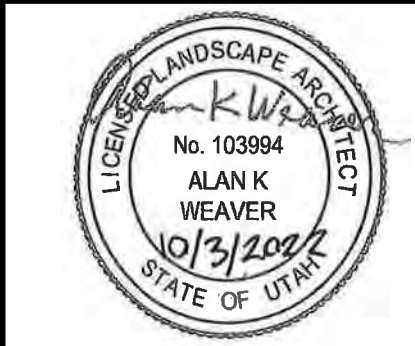
GRAPHIC SCALE



BERRA BOULEVARD



**FCUS**  
 ENGINEERING AND SURVEYING, LLC  
 6949 S. HIGH TECH DRIVE, SUITE 200  
 MIDVALE, UTAH 84047 PH: (801) 352-0075  
 www.fcusutah.com



THE VILLAS AT SUNSET ESTATES TOWNHOMES  
 TOOELE CITY, UTAH  
 LANDSCAPE PLAN

REVISION BLOCK	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		

LANDSCAPE PLAN

Scale: 1"=20'  
 Date: 10/3/2022  
 Sheet:

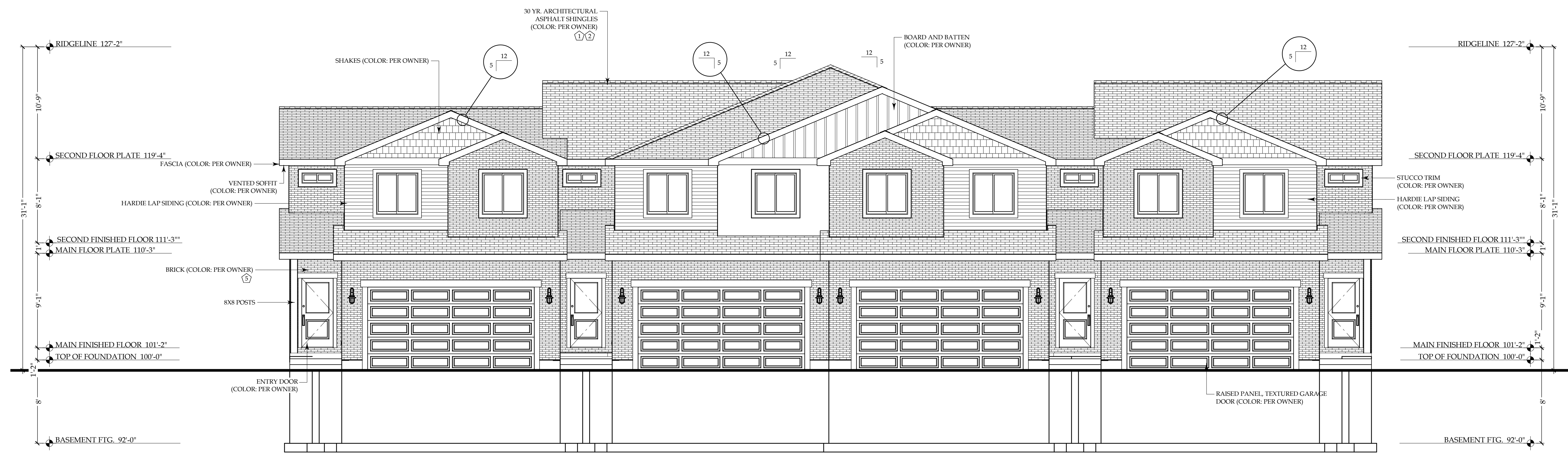
Z:\2016\16-338\Framwork\Berra Blvd Towns\tooele\design\16-338\DWG\SitePlan\Main\Main\L1 - LANDSCAPE PLAN.dwg



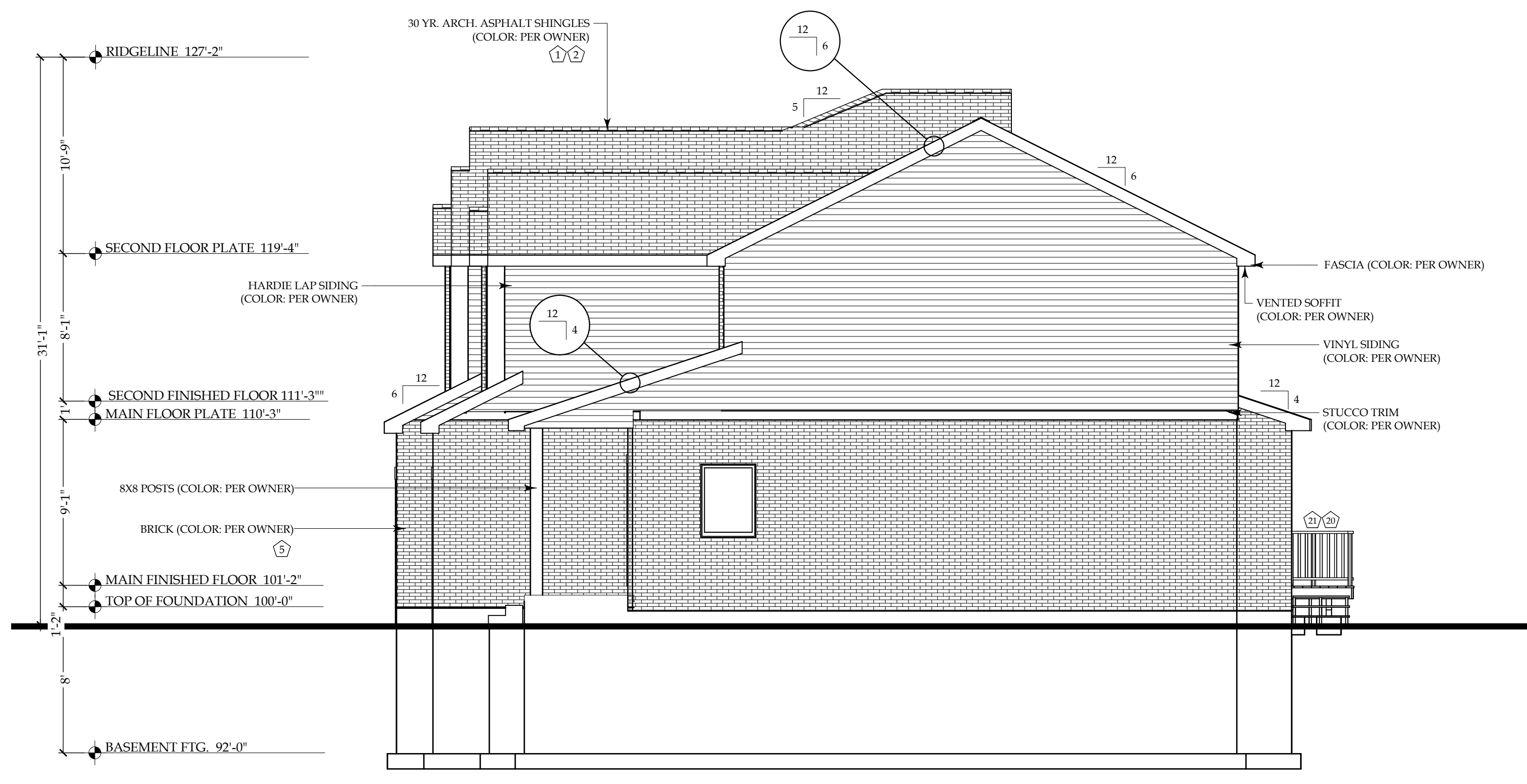
KEYED NOTES

- 1 ROOFING MATERIAL AND APPLICATION (R905)
- 2 PROVIDE ROOF FLASHING (R903.2)
- 3 PROVIDE ATTIC VENTILATION (RIDGE or TURTLE VENTS), (R806)
- 4 FLUE or MECHANICAL CHASE
- 5 APPLY BRICK AND STONE (R703.8)
- 6 PROVIDE WINDOW WELL WITH LADDER AS REQ'D. (R310.2.3)
- 7 ALL TOILETS SHALL BE 1.6 GALLON MAX. (R2903.2)
- 8 ALL TUBS AND SHOWERS SHALL HAVE MAX. 2.5 GPM HEADS. (P2903.6)
- 9 ALL HOSE BIBS MUST BE BACKFLOW PROTECTED (P2902.4.3)
- 10 PROVIDE JETTED TUB MOTOR ACCESS (E4209.3, P2720)
- 11 NOT USED
- 12 VENT DRYER TO OUTSIDE (M1502, G2439)
- 13 NOT USED
- 14 NOT USED
- 15 PROVIDE 20 MINUTE FIRE RATED DOOR (R302.5.1)
- 16 PROVIDE SAFETY GLAZING (R308.4)
- 17 PROVIDE 1/2" GYPSUM BOARD ON ALL WALLS AND CEILING UNDER STAIRS (R302.7)
- 18 SHEETROCK ALL WALLS, CEILINGS AND BEAMS WITH 5/8" TYPE "X" GYPBOARD AND SCREW @ 6" O.C. @ PERIMETER AND 12" O.C. IN THE FIELD.
- 19 PROVIDE 22 x 30 (20 MIN. FIRE RATED) ATTIC ACCESS (R807)
- 20 PROVIDE 36" HIGH RAILINGS. A 4" SPHERE SHALL NOT PASS THROUGH THE BALUSTER PATTERN (R312.1)
- 21 PROVIDE CONTINUOUS HANDRAIL (R311.7.8)
- 22 PROVIDE SEISMIC STRAPS FOR WATER HEATERS AT TOP AND BOTTOM 1/3 (P2801.8)
- 23 PROVIDE FLOOR DRAIN (P2719)
- 24 PROVIDE COMBUSTION AIR FOR ALL GAS APPLIANCES (G2407)
- 25 PROVIDE EXTERIOR DOOR LANDING (R311.3)
- 26 INSULATE MECHANICAL ROOM AND PROVIDE WEATHER STRIPPING AT ACCESS DOOR (N1102.4.4)

**REQUIRED BRICK COVERAGE:**  
 FRONT ELEVATION: BRICK (1395.91 sq.ft.) / TOTAL FACADE (2311.6 sq.ft.) = 60%  
 RIGHT ELEVATION: BRICK ( 496.52 sq.ft.) / TOTAL FACADE (982.34 sq.ft.) = 51%



FRONT ELEVATION



RIGHT ELEVATION

**ATTIC VENTILATION NOTES (PER IRC 806.2):**  
 THE MINIMUM NET AREA OF VENTILATION OPENINGS SHALL NOT BE LESS THAN 1 SQUARE FOOT FOR EACH 300 SQUARE FEET OF ATTIC AREA WHEN A COMBINATION OF VENTING METHODS ARE USED. AT LEAST 50% OF VENTING MUST BE LOCATED IN THE UPPER PORTION OF THE SPACE TO VENTED.

**REQUIRED VENTILATION (PER UNIT):**  
 ROOF AREA = 942 sq.ft./300 sq.ft. = 3.14 sq.ft.  
 (452.16 sq.in.) OF VENT OPENING REQUIRED

UPPER VENTILATION = 452.16 sq.in./2 = 226.08 sq.in./50 = 5 VENTS (RVG 55 (NFA 50sq.in.) or EQUAL)

LOWER VENTILATION = 452.16 sq.in./2 = 226.08 sq.in./11.625 = 19.45 l.f. (ALSIDE FULL VENTED ALUMINUM SOFFIT (11.625 sq.in. OF VENTILATION/l.f.) or EQUAL)

2964 W. 4700 SOUTH #112A  
 SALT LAKE CITY, UTAH 84129

6949 S. HIGH TECH DRIVE, SUITE 200  
 MIDVALE, UTAH 84047  
 P/E: 801-352-0075 www.focusutah.com

PROJECT:  
**SUNSET VILLAS TH**  
 STREET ADDRESS  
 CITY, UTAH  
 PLAN: SUNDANCE

ELEVATIONS

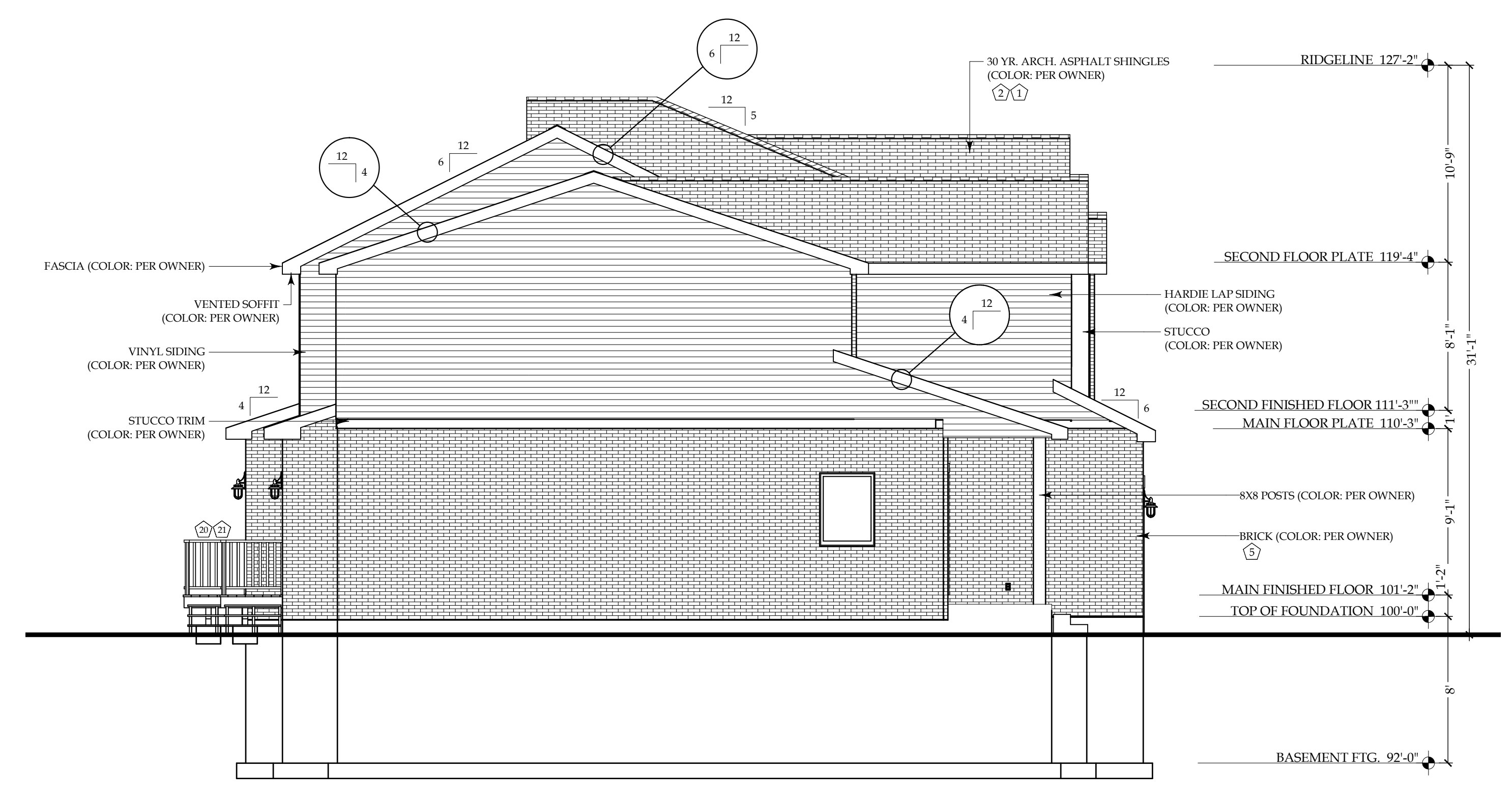
DESIGNER: NP  
 DATE: 10/13/2022  
 SCALE: 1/4" = 1' (U.N.O.)  
 PROJECT #: 20-9103

SHEET  
**A-1.0**

KEYED NOTES

**REQUIRED BRICK COVERAGE:**  
 LEFT ELEVATION: BRICK (496.52sq.ft.) / TOTAL FACADE (944.28 sq.ft.) = 53%  
 RIGHT ELEVATION: BRICK ( 1007.61 sq.ft.) / TOTAL FACADE (1866.27 sq.ft.) = 58%

- 1 ROOFING MATERIAL AND APPLICATION (R905)
- 2 PROVIDE ROOF FLASHING (R903.2)
- 3 PROVIDE ATTIC VENTILATION (RIDGE or TURTLE VENTS), (R806)
- 4 FLUE or MECHANICAL CHASE
- 5 APPLY BRICK AND STONE (R703.8)
- 6 PROVIDE WINDOW WELL WITH LADDER AS REQ'D. (R310.2.3)
- 7 ALL TOILETS SHALL BE 1.6 GALLON MAX. (R2903.2)
- 8 ALL TUBS AND SHOWERS SHALL HAVE MAX. 2.5 GPM HEADS. (P2903.6)
- 9 ALL HOSE BIBS MUST BE BACKFLOW PROTECTED (P2902.4.3)
- 10 PROVIDE JETTED TUB MOTOR ACCESS (E4209.3, P2720)
- 11 NOT USED
- 12 VENT DRYER TO OUTSIDE (M1502, G2439)
- 13 NOT USED
- 14 NOT USED
- 15 PROVIDE 20 MINUTE FIRE RATED DOOR (R302.5.1)
- 16 PROVIDE SAFETY GLAZING (R308.4)
- 17 PROVIDE 1/2" GYPSUM BOARD ON ALL WALLS AND CEILING UNDER STAIRS (R302.7)
- 18 SHEETROCK ALL WALLS, CEILINGS AND BEAMS WITH 5/8" TYPE "X" GYPBOARD AND SCREW @ 6" O.C. @ PERIMETER AND 12" O.C. IN THE FIELD.
- 19 PROVIDE 22 x 30 (20 MIN. FIRE RATED) ATTIC ACCESS (R807)
- 20 PROVIDE 36" HIGH RAILINGS. A 4" SPHERE SHALL NOT PASS THROUGH THE BALUSTER PATTERN (R312.1)
- 21 PROVIDE CONTINUOUS HANDRAIL (R311.7.8)
- 22 PROVIDE SEISMIC STRAPS FOR WATER HEATERS AT TOP AND BOTTOM 1/3 (P2801.8)
- 23 PROVIDE FLOOR DRAIN (P2719)
- 24 PROVIDE COMBUSTION AIR FOR ALL GAS APPLIANCES (G2407)
- 25 PROVIDE EXTERIOR DOOR LANDING (R311.3)
- 26 INSULATE MECHANICAL ROOM AND PROVIDE WEATHER STRIPPING AT ACCESS DOOR (N1102.4.4)



LEFT ELEVATION



REAR ELEVATION

**ATTIC VENTILATION NOTES (PER IRC 806.2):**  
 THE MINIMUM NET AREA OF VENTILATION OPENINGS SHALL NOT BE LESS THAN 1 SQUARE FOOT FOR EACH 300 SQUARE FEET OF ATTIC AREA WHEN A COMBINATION OF VENTING METHODS ARE USED. AT LEAST 50% OF VENTING MUST BE LOCATED IN THE UPPER PORTION OF THE SPACE TO VENTED.

**REQUIRED VENTILATION (PER UNIT):**  
 ROOF AREA = 942 sq.ft./300 sq.ft. = 3.14 sq.ft.  
 (452.16 sq.in.) OF VENT OPENING REQUIRED

UPPER VENTILATION = 452.16 sq.in./2 = 226.08 sq.in./50 = 5 VENTS  
 (RVG 55 (NFA 50sq.in.) or EQUAL)

LOWER VENTILATION = 452.16 sq.in./2 = 226.08 sq.in./11.625 = 19.45 l.f.  
 (ALSIDE FULL VENTED ALUMINUM SOFFIT (11.625 sq.in. OF VENTILATION/L.F.) or EQUAL)

2964 W. 4700 SOUTH #112A  
 SALT LAKE CITY, UTAH 84129

6949 S. HIGH TECH DRIVE, SUITE 200  
 MIDVALE, UTAH 84047  
 PHE 801-352-0075 www.focus Utah.com

PROJECT:  
**SUNSET VILLAS TH**  
 STREET ADDRESS  
 CITY, UTAH  
 PLAN: SUNDANCE

**ELEVATIONS**

DESIGNER: NP  
 DATE: 10/13/2022  
 SCALE: 1/4" = 1' (U.N.O.)  
 PROJECT #: 20-9103

SHEET  
**A-1.1**



**STAFF REPORT**

October 20, 2022

**To:** Tooele City Planning Commission  
Business Date: October 26, 2022

**From:** Planning Division  
Community Development Department

**Prepared By:** Andrew Aagard, City Planner / Zoning Administrator

**Re: Harris Community Village – Site Plan Design Review Request**

Application No.: P22-201  
Applicant: Heber Slabbert, representing AJC Architects  
Project Location: 251 N 1st Street  
Zoning: MR-8 Multi-Family Residential Zone  
Acreage: 9.38 Acres (Approximately 408,592 ft<sup>2</sup>)  
Request: Request for approval of a Site Plan Design Review in the MR-8 Multi-Family Residential zone regarding authorization of a multi-family residential building in conjunction with the Harris Community Resource Center.

**BACKGROUND**

This application is a request for approval of a Site Plan Design Review for approximately 9.38 acres located at 251 N 1st Street. The property is currently zoned MR-8 Multi-Family Residential. The applicant is requesting that a Site Plan Design Review be approved to allow for the construction of a multi-family residential apartment building in conjunction with the Harris Community Resource Center.

**ANALYSIS**

*General Plan and Zoning.* The Land Use Map of the General Plan calls for the Medium Density Residential land use designation for the subject property. The property has been assigned the MR-8 Multi-Family Residential zoning classification, supporting approximately eight dwelling units per acre. The MR-8 Multi-Family Residential zoning designation is not identified by the General Plan as a preferred zoning classification for the Medium Density Residential land use designation. All surrounding properties are currently zoned R1-7 Residential, however, even though the properties have a single-family zoning designation, there are many legally non-conforming multi-family residential uses located adjacent to the subject property. Mapping pertinent to the subject request can be found in Exhibit “A” to this report.

The applicant, AJC Architects is representing the Tooele County Housing Authority (TCHA) who is the owner and developer of the property. TCHA is revitalizing the old Harris Elementary School and is currently converting the main school building into a community resource center designated to provide assistance to the homeless and to others who are otherwise in need of assistance. The resource center provides counseling services, a child day care, food pantry and other resources for those in need of such assistance. This application, although an application of TCHA, is not part of the community resource center. The resource center is not in any need of approvals as construction is currently underway on that portion of the project. This site plan design review involves the construction of a new 66 unit residential building where those needing some housing assistance can reside for periods of longer terms while

participating in the residential support programs offered by TCHA. This structure is a multi-family residential structure and will need to meet the same site, landscaping and architectural requirements as any other multi-family residential structure constructed in Tooele City. There are some ordinance exemptions related to the size of the unit and the number of parking spaces and these exemptions will be discussed in greater detail in various sections of this staff report.

Site Plan Layout. The proposed site plan shows the community resource center (CRC) outlined with a bold line. The proposed residential building being considered in this site plan design review is proposed to be constructed at the far south west corner of the site to the west and south of the CRC building. There are existing parking areas east and south of the CRC with some proposed parking areas south and west of the proposed housing building. Located between the CRC and the housing building will be ample landscaping and amenities to be utilized by the residents and those utilizing the services provided by the CRC.

At 9.38 acres the MR-8 zone permits 75 dwelling units. The proposed housing building provides 66 units and is well within the density limitations of the MR-8 zoning district. The TCHA will encounter density problems if they construct any additional units on other portions of the property and will need to consider a zoning map amendment at that time. For this building, the density is fine.

Accesses into the site will be provided from 1<sup>st</sup> street and line up with existing intersections at Cedar Street and Birch Street.

Landscaping. Landscaping on the site greatly exceeds the 25% landscaping requirement and incorporates various types of ground covers, planting beds, amenities and so forth. The dominant landscaping feature is shrub beds covered with cobble mulches over weed barrier fabric. The plans include the installation of 132 new trees, 127 of which are deciduous with 5 of those trees being coniferous ever green. Staff would like to see more ever green trees such as Austrian Pine, Blue Spruce or Japanese Black Pine to provide some variety during the winter months when deciduous trees have shed their leaves, however, there is not an ordinance requirement for a ratio or mix of deciduous or coniferous trees. Trees have been placed in locations adjacent to buildings, common areas, property lines and roads as required by the design guidelines. Shrub beds are ample throughout the site, adjacent to the building foundation, parking areas, property lines and near the amenities at the center of the site and exceed design guidelines requirements.

Amenities. At 66 units the development is required to provide a minimum of two amenities. Six amenities are being provided. Those amenities are two tot lot play structures, a swing set, curva spinners, sand box and raised garden plots.

Parking. Tooele City Code 7-11a-2 Subsection 3 provides an exemption to some of the typical standards required for multi-family residential developments. If the project meets the ordinance defined criteria the parking requirement is reduced to 1 uncovered parking space per unit. It should also be noted that many of the residents utilizing the residential support programs offered by TCHA do not own or operate cars. The residential building itself has 66 units and therefore the parking requirement is 66 parking stalls. There are 39 parking stalls south and west of the residential building along with an additional 60 parking stalls east of the CRC. That is a total of 99 parking stalls leaving approximately 33 parking stalls available for use of the CRC, child day care, etc, and that is assuming every resident of the facility owns and operates a car. The residential portion of the proposed development has sufficient parking. There is also ample room for additional parking to the north of the proposed development, however, it should be emphasized that additional parking in this location will require a site plan amendment as the additional parking areas will need to meet City parking lot requirements.

Architecture. This a tough one for both the applicant and for staff. Given the nature of the facility being

a residential support facility this is not a typical multi-family residential housing development. The individuals being housed in this facility are those recovering from substance abuse problems, homelessness and other issues. Housing that works for the average individual may not be suitable for the individual struggling with some of these issues. Staff has worked closely with the applicant to come to a building appearance that satisfies the needs of the applicant but also meets the design guidelines as found in Tooele City Code 7-11a. However, the building isn't quite there yet and still needs a little work. Staff hopes the Planning Commission can lend some design review assistance in these matters.

The building is a three story building and it does meet the height requirements of the MR-8 multi-family residential zone standing close to 35 feet from foundation to top of parapet wall. The building is "L" shaped and therefore has facades that face a public street and facades that face single-family residential zones. It also has facades that face the existing CRC building. The front of the building has been designated as the facades facing the internal court yard and facing the CRC building. These facades are also the most visible from 1<sup>st</sup> Street. However, the building exterior is largely the same architectural design on all facades.

Vertical variation is provided with parapet walls extending above the main roof line and divided into sections no longer than 48 feet with gaps of 9 to 12 feet in between. At the center of the building is a single-story entrance and common area before the building branches off to the residential wings. Vertical elements such as columns and quoins are required on the front and public street facing facades. In meeting with the applicant to discuss the matter it was explained that on the front façade, where these elements are required, columns are provided at the main building entrance. The building perspectives help show the columns provided at the entrance on the front building façade.

Horizontal variation is a little more tricky for a building of this type. The lighter colored brick areas do extend out from the darker colored brick and thus provide some unit delineation and some horizontal relief. However, there are other horizontal relief issues that need to be addressed such as requirements for bay or box windows for the ground floor units and balconies for the upper floor units. Staff has met with the applicant and has determined that the building pop outs will address the requirement for ground floor units, however, upper floor units are required to have at least one balcony per unit. In discussing the matter with the applicant it was determined that a balcony area is not a desired function for a residential support facility and the applicant was resistant to installing balconies for safety and aesthetic considerations and what the residents might do with those balconies. In consideration of the unique housing situation this facility provides staff arranged a compromise with the applicant that will relieve them of the balcony requirement and still provide the horizontal articulation the ordinance requires and that balconies typically provide. The applicant agreed to install shade awnings above the windows of each unit. It was agreed upon at that meeting that this would fulfill the horizontal articulation requirement typically satisfied by balconies.

Front and public street facing façade windows are all required to have 4 inch trim or include stucco lintels below each window. Windows on all other facades require only a 2 inch trim. Not all of the windows include the necessary trim but do include a stucco lintel either above or below the window. Ground floor units do not include any identifiable trim or lintels.

Exterior materials are primarily brick. North and east elevations are almost entirely brick where the south and west elevations incorporate a brick wainscot with patches of stucco EIFS paneling separated by sections of brick. Building exterior materials do meet or exceed the minimum requirements for brick and or stone.

It should be noted that the ordinance also provides an exemption to the minimum dwelling unit size for residential support facilities such as 400 square feet for studio units, 575 square feet for one bedroom



units and 800 square feet for two bedroom units.

Signage. The development includes one entry monument sign at each point of connection to 1<sup>st</sup> Street.

Fencing. When a multi-family residential development such as this is located adjacent to single-family residential zoning a fencing requirement is triggered. In this case fencing between the development and the single-family zones to the south and to the west is required. Fencing requirements are 6 foot solid vinyl with masonry piers spaced every 8 to 10 feet or other equidistant spaces. The plans provided by the applicant do not clearly indicate the type of fencing to be installed but only say “construct fencing”. The detail sheets also do not provide information as to what kind of fencing is to be installed. The plans need to demonstrate what kind of fencing will be installed and that the fencing meets or exceeds ordinance requirements. Current plans do not do that.

Criteria For Approval. The criteria for review and potential approval of a Site Plan Design Review request is found in Sections 7-11-6, 8 and 9 of the Tooele City Code. This section depicts the standard of review for such requests as:

Site Plan or Site Plan Amendment 7-11-6, 8, and 9

Section 7-11-6. Approval. The Planning Commission, shall determine whether the proposed architectural and site development plans submitted are consistent with [Chapter 7-11 TCC] and with the general policies and objectives of [Title 7 TCC], and shall give or withhold approval accordingly. Before making this determination, the Planning Commission shall receive the written recommendations of the City Engineer, the Accessibility Committee, and the Fire Chief. Such recommendation may be by letter, memorandum, or signature on the plans.

Section 7-11-8. Considerations in review of applications. The Planning Commission and the Engineering Department shall consider the following matters, among others, in their review of applications:

- (1) Considerations relating to traffic safety and traffic congestion:
  - (a) The effect of the site development plan on traffic conditions on abutting streets.
  - (b) The layout of the site with respect to locations and dimensions of vehicular and pedestrian entrances, exits, drives, and walkways.
  - (c) The arrangement and adequacy of off-street parking facilities to prevent traffic congestion.
  - (d) The location, arrangement, and dimensions of truck loading and unloading facilities.
  - (e) The circulation patterns within the boundaries of the development.
  - (f) The surfacing and lighting of off-street parking facilities.
- (2) Considerations relating to outdoor advertising:
  - (a) The number, location, color, size, height, lighting, and landscaping of outdoor advertising signs and structures in relation to the creation of traffic hazards and the appearance and harmony with neighboring development.
- (3) Considerations relating to landscaping:
  - (a) The location, height, and materials of walls, fences, hedges, and screen plantings to insure harmony with neighboring development, or to conceal storage areas, utility installations, or other unsightly development.
  - (b) The planting of ground cover or other surfacing to prevent dust and erosion.
  - (c) The unnecessary destruction of existing healthy trees.

- (4) Considerations relating to buildings and site layout:
  - (a) Consideration of the general silhouette and mass, including location on the site, elevations, and relation to natural plant coverage, all in relationship to neighboring development.
  - (b) Consideration of exterior design in relation to adjoining structures in height, bulk, and area openings, breaks in facade facing on streets, line and pitch of roofs, and the arrangement of structures on the parcel.
- (5) Considerations relating to drainage:
  - (a) The effect of the site development plan on the adequacy of the storm and surface water drainage, retention, and/or detention.

Section 7-11-9. Considerations. The Planning Commission, or the City Engineer, when authorized, shall decide all applications for design review. Design approval may include such conditions consistent with the considerations of [Chapter 7-11 TCC] as the Planning Commission or City Engineer deem reasonably necessary under the circumstances to carry out the intent of [Chapter 7-11 TCC].

## **REVIEWS**

*Planning Division Review.* The Tooele City Planning Division has completed their review of the Site Plan Design Review submission and has issued the following comments:

1. This item was placed on the agenda at the insistence of the applicant due to time constraints, however, there are still unresolved matters pertaining to the fencing and building architecture (explained in detail above) that need to be resolved. Site plan design review is conducted to help resolve these kind of issues. Staff and the applicant have attempted to work out resolutions to some of these matters but the plans provided are not demonstrating or do not reflect what the applicant and staff have previously discussed. In this case staff relies upon the Planning Commission to address these matters and thus resolve these matters with conditions of approval.
2. Other than the fencing and the building architecture, the site plan and landscape plan meet or exceed all minimum requirements of the multi-family residential design guidelines as found in Tooele City code 7-11a.

*Engineering and Public Works Review.* The Tooele City Engineering and Public Works Divisions have completed their reviews of the Site Plan Design Review submission and have issued a recommendation for approval for the request.

*Tooele City Fire Department Review.* The Tooele City Fire Department has completed their review of the Site Plan Design Review submission and has issued a recommendation for approval for the request.

*Noticing.* A site plan design review does not require a public hearing and as such public notices are not issued to adjacent property owners or posted in legally obligated posting locations, other than the meeting agenda.

## **STAFF RECOMMENDATION**

Staff recommends approval of the request for a Site Plan Design Review by Heber Slabbert, representing AJC Architects, application number P22-201, subject to the following conditions:

1. That all requirements of the Tooele City Engineering and Public Works Divisions shall be satisfied throughout the development of the site and the construction of all buildings on the site, including permitting.
2. That all requirements of the Tooele City Building Division shall be satisfied throughout the development of the site and the construction of all buildings on the site, including permitting.
3. That all requirements of the Tooele City Fire Department shall be satisfied throughout the development of the site and the construction of all buildings on the site.
4. That all requirements of the geotechnical report shall be satisfied throughout the development of the site and the construction of all buildings on the site.

This recommendation is based on the following findings:

1. The proposed development plans meet the intent, goals, and objectives of the Tooele City General Plan.
2. The proposed development plans meet the requirements and provisions of the Tooele City Code.
3. The proposed development plans will not be deleterious to the health, safety, and general welfare of the general public nor the residents of adjacent properties.
4. The proposed development conforms to the general aesthetic and physical development of the area.
5. The public services in the area are adequate to support the subject development.

### **MODEL MOTIONS**

Sample Motion for Approval – “I move we approve the Site Plan Design Review Request by Heber Slabbert, representing AJC Architects for the Harris Community Village Apartment Building, application number P22-201, based on the findings and subject to the conditions listed in the Staff Report dated October 20, 2022:”

1. List any additional findings and conditions...

Sample Motion for Denial – “I move we deny the Site Plan Design Review Request by Heber Slabbert, representing AJC Architects for the Harris Community Village Apartment Building, application number P22-201, based on the following findings:”

1. List findings...



**EXHIBIT A**

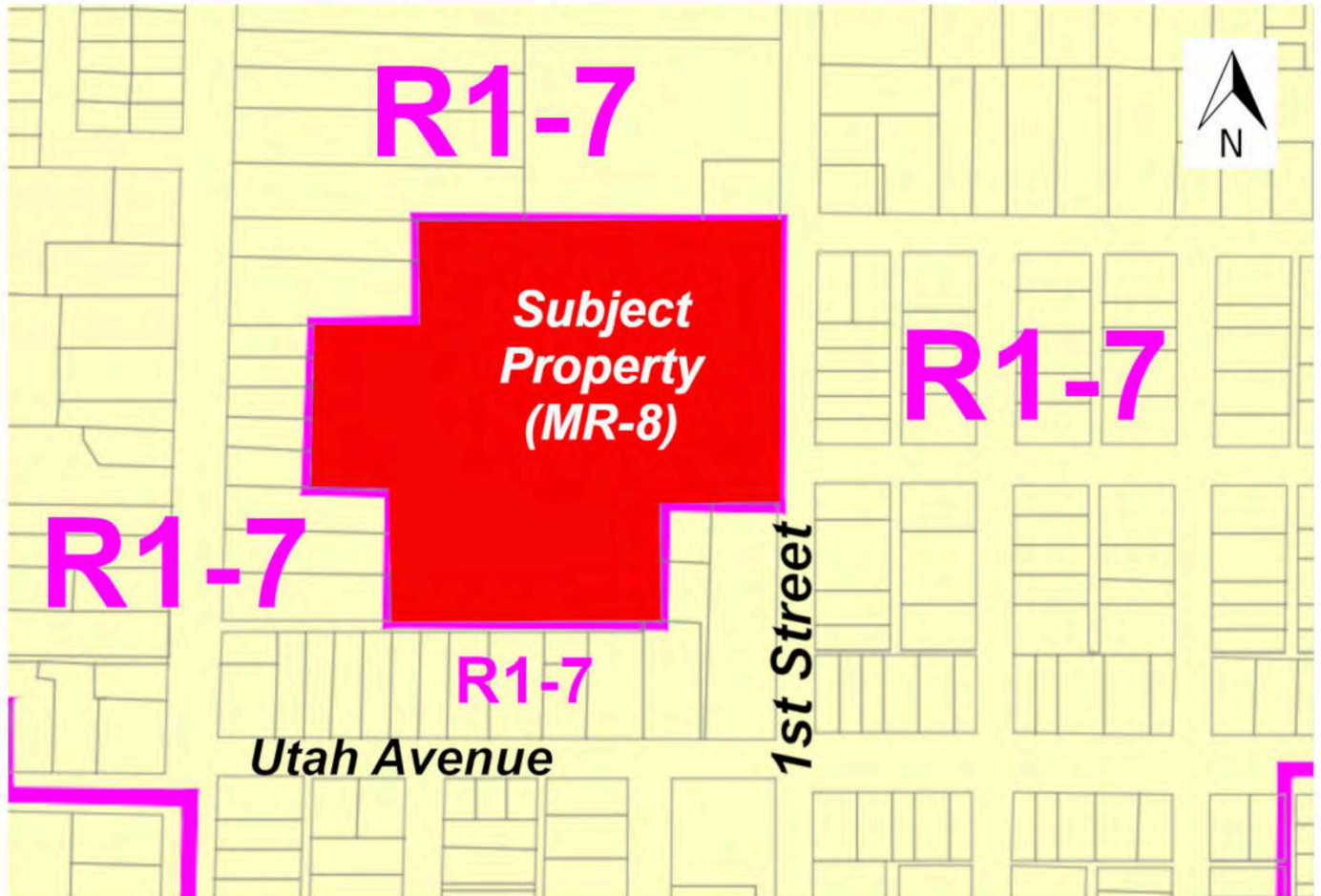
**MAPPING PERTINENT TO THE HARRIS COMMUNITY VILLAGE SITE PLAN  
DESIGN REVIEW**

***Harris Community Village Site Plan Design Review***



***Aerial View***

**Harris Community Village Site Plan Design Review**



**Current Zoning**

**EXHIBIT B**

**PROPOSED DEVELOPMENT PLANS &  
APPLICANT SUBMITTED INFORMATION**



Site Plan Application  
 Community Development Department  
 90 North Main Street, Tooele, UT 84074  
 (435) 843-2132 Fax (435) 843-2139  
[www.tooelecity.org](http://www.tooelecity.org)



*Notice:* The applicant must submit copies of the site plans to be reviewed by the City in accordance with the terms of the Tooele City Code. Once a set of site plans are submitted, the plans are subject to compliance reviews by the various city departments and may be returned to the applicant for revision if the plans are found to be inconsistent with the requirements of the City Code and all other applicable City ordinances. All submitted preliminary plan proposals shall be reviewed in accordance with the Tooele City Code. Submission of site plans in no way guarantees placement of the application on any particular agenda of any City reviewing body. It is **strongly** advised that all plans be submitted well in advance of any anticipated deadlines.

Project Information						22-9905	
Date of Submission: 8-8-2022	Submittal #: <input checked="" type="checkbox"/> 1 <input type="checkbox"/> 2 <input type="checkbox"/> 3 <input type="checkbox"/> 4	Zone:	Acres: 4.61	Parcel #(s): 14-0600-0-0005			
Project Name: The Village at Sunset Estates							
Project Address: 2000N Berra Blvd							
Project Description: 36 Townhome lots			Phases: 1	Lots: 36			
Property Owner(s): Hallmark Homes				Applicant(s): Same			
Address: 2964 W. 4700S. #112A				Address:			
City: SLC	State: Ut	Zip: 84129	City:	State:	Zip:		
Phone: 801-232-8900	Email: Russ@hallmarkhomesutah.com		Phone:	Email:			
Contact Person: Russ Tolbert			Address: Same				
Phone:			City:	State:	Zip:		
Cellular: 801-232-8900	Fax: 801-967-1200	Email: Russ@hallmarkhomesutah.com					
Engineer & Company: Focus Engineering			Surveyor & Company: Same				
Address: 6949 S. High Tech Dr #200			Address:				
City: SLC	State: Ut	Zip: 84047	City:	State:	Zip:		
Phone: 801-352-0075	Email:		Phone:	Email:			

\*The application you are submitting will become a public record pursuant to the provisions of the Utah State Government Records Access and Management Act (GRAMA). You are asked to furnish the information on this form for the purpose of identification and to expedite the processing of your request. This information will be used only so far as necessary for completing the transaction. If you decide not to supply the requested information, you should be aware that your application may take a longer time or may be impossible to complete. If you are an "at-risk government employee" as defined in *Utah Code Ann. § 63-2-302.5*, please inform the city employee accepting this information. Tooele City does not currently share your private, controlled or protected information with any other person or government entity.

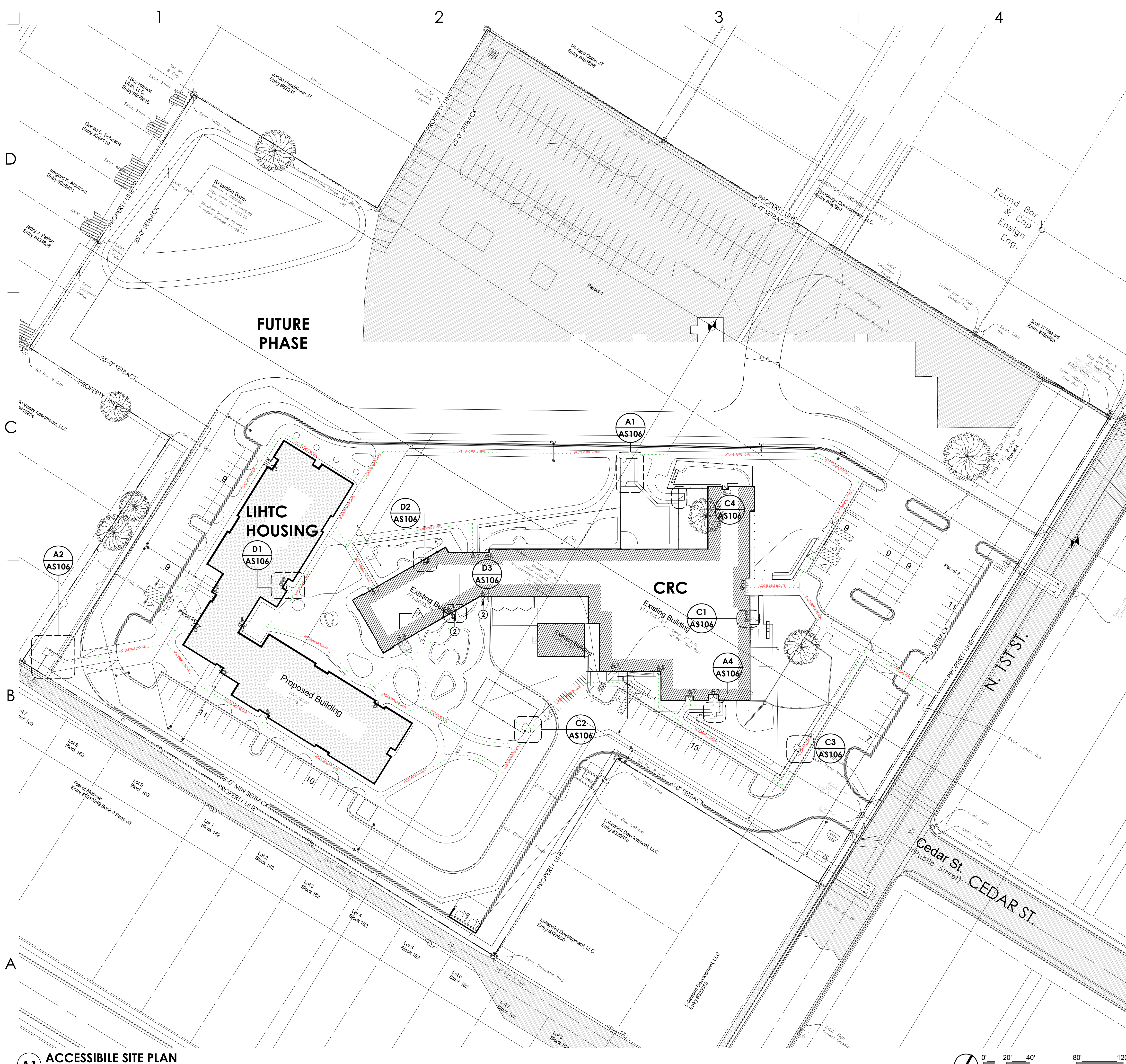
Note:

- A new application and checklist must accompany each submittal.
- Developer must submit plans in complete format to facilitate their review. Plans will be reviewed by the City staff, once they are found complete, they will be forwarded to Planning Commission for consideration. (as necessary)
- All fees must be paid at time of first submittal

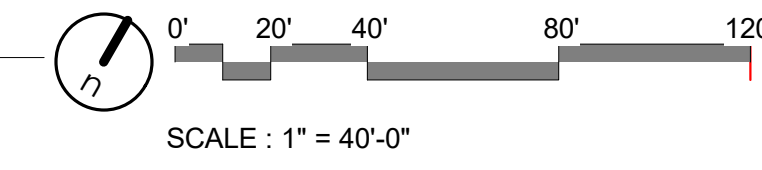
For Office Use Only				2220994	
Received By:		Date Received:		App. #:	
City Planner Review		City Engineer Review		Date	
First Review Corrections Needed <input type="checkbox"/> Yes <input type="checkbox"/> No		Date Plans & Comments Returned			
Second Review Corrections Needed <input type="checkbox"/> Yes <input type="checkbox"/> No		Date Plans & Comments Returned			
Planning Commission Date		<input type="checkbox"/> Approved <input type="checkbox"/> Denied		Decision Date	



10/21/2022 9:08:11 AM BIM 360://Harris Community Village - CRC 2021.12 - Harris Community Village - CRC atayloriv52.rvt  
 ALL LEGALS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THESE DRAWINGS ARE OWNED BY AND THE PROPERTY OF AJC ARCHITECTS PC AND WERE CREATED, REVISED, ENDED OR CANCELED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF THE IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN CONSENT OF AJC ARCHITECTS PC. ANY REPRODUCTION OR TRANSMISSION OF THESE DRAWINGS WITHOUT THE WRITTEN CONSENT OF AJC ARCHITECTS PC IS STRICTLY PROHIBITED. THIS DRAWING IS THE PROPERTY OF AJC ARCHITECTS PC AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF AJC ARCHITECTS PC. ANY VIOLATION OF THESE TERMS SHALL BE SUBJECT TO A CRIMINAL OFFENSE UNDER 18 U.S.C. SEC. 106. UNAUTHORIZED DISCLOSURE MAY CONSTITUTE TRADE SECRET MISAPPROPRIATION IN VIOLATION OF T.C.20A-3.1 ET. SEC. AND OTHER LAWS.



**A1 ACCESSIBLE SITE PLAN**  
 1" = 40'-0"



**GENERAL NOTES:**

SEE SHEET G1002 FOR DRAWING INDEX.  
 SEE SHEET G1003 FOR GENERAL NOTES AND ABBREVIATIONS.  
 DO NOT SCALE DRAWINGS.  
 CONTRACTOR / SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE BEGINNING WORK. AND SHALL REPORT TO THE ARCHITECT ANY ERRORS, INCONSISTENCIES OR OMISSIONS BEFORE BEGINNING WORK. SEE GENERAL NOTES AND SPECIFICATIONS.

**KEYED NOTES:**

- 1 LIHTC CHILDREN'S PLAY AREA.
- 2 THIS IS AN EXIT ONLY DOOR.

**LEGEND**

- ACCESSIBLE ENTRY
- RESTRICTED ENTRY

**ZONING NOTES**

<b>ZONE</b>	MR-8
<b>SETBACK</b>	
MINIMUM FRONT YARD	25 FT
MINIMUM REAR YARD	25 FT
MINIMUM SIDE YARD	6 FT
MAXIMUM BUILDING HEIGHT	35 FEET
TOTAL LOT COVERAGE (ALL BUILDINGS)	40%
<b>**PLEASE REFERENCE TOOELE CITY ORDINANCE 2021-35.**</b>	

**ajc architects**

703 east 1700 south  
 salt lake city, ut 84105  
 ajcarchitects.com



ARCHITECT / CONSULTANT

AUTHORITY HAVING JURISDICTION

PROJECT DESCRIPTION  
**HARRIS COMMUNITY VILLAGE**

251 N. 1ST STREET  
 TOOELE, UT 84074

SHEET NAME:  
**ACCESSIBLE SITE PLAN**

REVISIONS

MARK	DATE	DESCRIPTION
2	03.18.22	ADDENDUM 02 - PERMIT REVIEW #2

ISSUE DATE: **09/27/22**  
 ISSUE TYPE: **CONFORMED SET**  
 DRAWN BY: **AT | MS | AL**  
 CHECKED BY: **KR**  
 PROJECT#: **2021-12**

SHEET NUMBER:

**AS101.1**



**GENERAL NOTES:**

- SEE SHEET G1002 FOR DRAWING INDEX.
- SEE SHEET G1003 FOR GENERAL NOTES AND ABBREVIATIONS.
- DO NOT SCALE DRAWINGS.
- CONTRACTOR / SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE BEGINNING WORK, AND SHALL REPORT TO THE ARCHITECT ANY ERRORS, INCONSISTENCIES OR OMISSIONS BEFORE BEGINNING WORK. SEE GENERAL NOTES AND SPECIFICATIONS.
- ALL ADDED PARTITIONS TO EXTEND TO UNDERSIDE OF ROOF DECK UNLESS OTHERWISE NOTED.

**KEYED NOTES:**

- 1 NEW CURB CUT.
- 2 LIHTC CHILDREN'S PLAY AREA.
- 3 CHILDCARE CHILDREN'S PLAY AREA.
- 4 FAMILY SHELTER CHILDREN'S PLAY AREA.
- 5 FEMALE SHELTER EXTERIOR SPACE.
- 6 MALE SHELTER EXTERIOR SPACE.
- 7 ADMIN. EXTERIOR BREAK AREA.
- 8 RESOURCE CENTER DOG RUN.
- 9 LIHTC DOG RUN.
- 10 EXISTING TREE.
- 11 LIHTC DUMPSTER ENCLOSURE.
- 12 RESOURCE CENTER MECHANICAL YARD.
- 13 RESOURCE CENTER DUMPSTER ENCLOSURE.
- 14 COMMUNITY GARDEN.
- 15 EXISTING DETENTION POND.
- 16 FIRE ACCESS ROAD.
- 17 OPEN SPORTS FIELD.
- 18 EXISTING MASONRY STRUCTURE TO REMAIN. PROTECT.
- 19 TRANSFORMER. SEE ELECTRICAL DRAWINGS.
- 20 ENTRY PLAZA.
- 21 CENTRAL VILLAGE PLAZA.
- 22 EXISTING FENCING TO REMAIN AND BE REFINISHED.
- 23 CONCRETE MONUMENT SIGN. DESIGN TBD.
- 24 ADA SIGN
- 25 BARBECUE - DO THESE NEED GAS?
- 26 ADA PUSH BUTTON LOCATION @ MAIN DOOR
- 27 BIKE RACK. SEE SPECIFICATIONS.
- 28 FENCING. SEE SPECIFICATIONS.
- 29 ACCESSIBLE ROUTE.
- 30 EXISTING FIRE HYDRANT
- 31 FIRE HYDRANT

**ZONING NOTES**

<b>ZONE</b>	MR-8
<b>SETBACK</b>	
MINIMUM FRONT YARD	25 FT
MINIMUM REAR YARD	25 FT
MINIMUM SIDE YARD	6 FT
<b>MAXIMUM BUILDING HEIGHT</b>	35 FEET
<b>TOTAL LOT COVERAGE (ALL BUILDINGS)</b>	40%

**TOTAL SITE AREA 440,089 SQFT**

<b>LANDSCAPE</b>	
Turfgrass	25,495 SQFT
3'-6" Dia. Tan/Beige Cobble (Detention)	24,673 SQFT
3' Deep 1.5" Tan/Beige Rock Mulch	40,255 SQFT
3' Deep Bark Mulch	9,649 SQFT
<b>TOTAL (22.74%)</b>	<b>100,072 SQFT</b>

<b>OPEN SPACE</b>	
Synthetic Turf Dog Runs	4,951 SQFT
Sidewalks and plazas	32,381 SQFT
Playgrounds	2,585 SQFT
Garden area	1,262 SQFT
<b>TOTAL (9.36%)</b>	<b>41,179 SQFT</b>

**TOTAL LANDSCAPE & OPEN SPACE(32.1%) 141,251 SQFT**

**\*\*PLEASE REFERENCE TOOELE CITY ORDINANCE 2021-35.\*\***

<b>USE</b>	<b># OF STALLS</b>	<b>ADA STALLS</b>
LIHTC HOUSING	66	(2 VAN)
CRC	33	4(2 VAN)
<b>TOTAL</b>	<b>99</b>	<b>6 (4 VAN)</b>

**ajc architects**  
 703 east 1700 south  
 salt lake city, ut 84105  
 ajcarchitects.com



ARCHITECT / CONSULTANT

AUTHORITY HAVING JURISDICTION

PROJECT DESCRIPTION  
**HARRIS COMMUNITY VILLAGE**

251 N. 1ST STREET  
 TOOELE, UT 84074

SHEET NAME:  
**ARCHITECTURAL SITE PLAN**

**REVISIONS**

MARK	DATE	DESCRIPTION
1	02.18.22	ADDENDUM 01 - PERMIT REVIEW #1
2	03.18.22	ADDENDUM 02 - PERMIT REVIEW #2
3	04.06.22	ADDENDUM 03 - PERMIT REVIEW
5	08.02.22	ADDENDUM 05 - PERMIT REVIEW
6	09.13.22	ADDENDUM 06 - PERMIT REVIEW

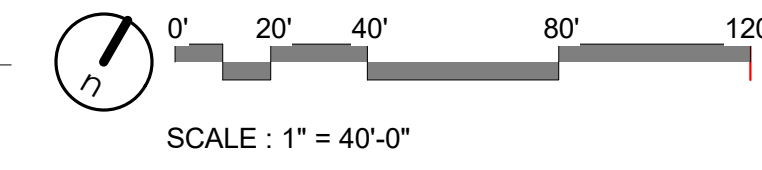
ISSUE DATE: **09/27/22**  
 ISSUE TYPE: **CONFORMED SET**  
 DRAWN BY: **AT | MS | AL**  
 CHECKED BY: **KR**  
 PROJECT#: **2021-12**

SHEET NUMBER:

**AS101**

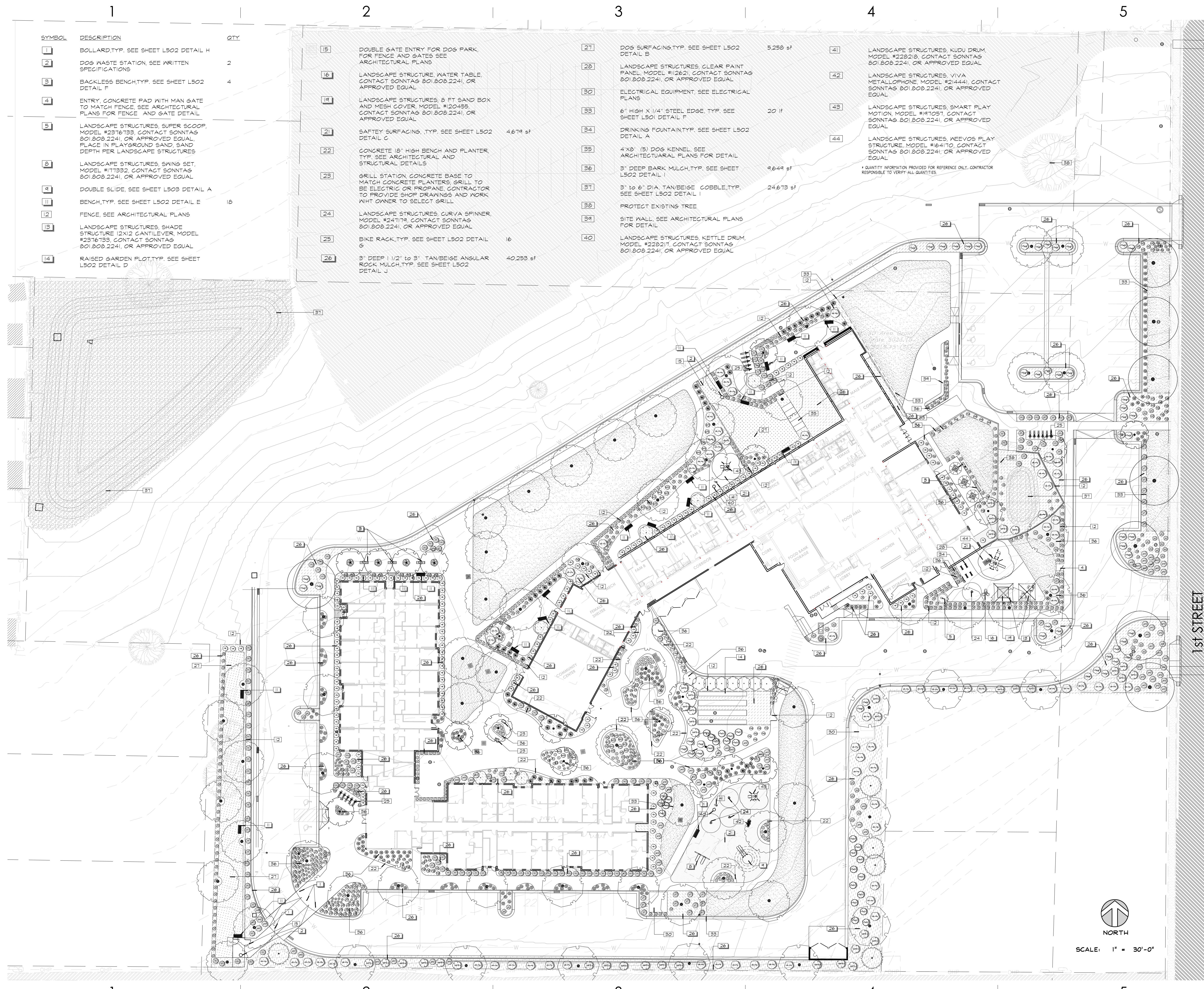
10/21/2022 9:08:09 AM BIM 340:/Harris Community Village - CRC ataylorIV5V2.rvt  
 ALL LEGALS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED ON THESE DRAWINGS ARE OWNED BY AND THE PROPERTY OF AJC ARCHITECTS PC AND NO PART THEREOF SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN CONSENT OF AJC ARCHITECTS PC. ANY UNAUTHORIZED REPRODUCTION OR TRANSMISSION OF THESE DRAWINGS IS A VIOLATION OF FEDERAL AND STATE LAWS AND IS SUBJECT TO PROSECUTION. REPRODUCTION OF THESE DRAWINGS WITHOUT THE WRITTEN CONSENT OF AJC ARCHITECTS PC IS STRICTLY PROHIBITED. THIS DRAWING IS THE PROPERTY OF AJC ARCHITECTS PC AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN CONSENT OF AJC ARCHITECTS PC.

**A1 ARCHITECTURAL SITE PLAN**  
 1" = 40'-0"





12/2/2009 2:21:03 PM File Path  
 THE INFORMATION CONTAINED HEREIN IS THE PROPERTY OF AJC ARCHITECTS, INC. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF AJC ARCHITECTS, INC. ANY UNAUTHORIZED REPRODUCTION OR TRANSMISSION OF THIS DOCUMENT IS STRICTLY PROHIBITED. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION AND DATA PROVIDED HEREIN. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION AND DATA PROVIDED HEREIN.



SYMBOL	DESCRIPTION	QTY
1	BOLLARD, TYP. SEE SHEET L502 DETAIL H	
2	DOG WASTE STATION, SEE WRITTEN SPECIFICATIONS	2
3	BACKLESS BENCH, TYP. SEE SHEET L502 DETAIL F	4
4	ENTRY, CONCRETE PAD WITH MAN GATE TO MATCH FENCE, SEE ARCHITECTURAL PLANS FOR FENCE AND GATE DETAIL	
5	LANDSCAPE STRUCTURES, SUPER SCOOB, MODEL #2316133, CONTACT SONNTAG 801.808.2241, OR APPROVED EQUAL, PLACE IN PLAYGROUND SAND, SAND DEPTH PER LANDSCAPE STRUCTURES	
6	LANDSCAPE STRUCTURES, SHINE SET, MODEL #111332, CONTACT SONNTAG 801.808.2241, OR APPROVED EQUAL	
7	DOUBLE SLIDE, SEE SHEET L503 DETAIL A	
11	BENCH, TYP. SEE SHEET L502 DETAIL E	18
12	FENCE, SEE ARCHITECTURAL PLANS	
13	LANDSCAPE STRUCTURES, SHADE STRUCTURE 12X12 CANTILEVER, MODEL #2316133, CONTACT SONNTAG 801.808.2241, OR APPROVED EQUAL	
14	RAISED GARDEN PLOT, TYP. SEE SHEET L502 DETAIL D	

15	DOUBLE GATE ENTRY FOR DOG PARK, FOR FENCE AND GATES SEE ARCHITECTURAL PLANS	
16	LANDSCAPE STRUCTURE, WATER TABLE, CONTACT SONNTAG 801.808.2241, OR APPROVED EQUAL	
19	LANDSCAPE STRUCTURES, 8 FT SAND BOX AND MESH COVER, MODEL #120455, CONTACT SONNTAG 801.808.2241, OR APPROVED EQUAL	
21	SAFETY SURFACING, TYP. SEE SHEET L502 DETAIL C	4,679 sf
22	CONCRETE 18" HIGH BENCH AND PLANTER, TYP. SEE ARCHITECTURAL AND STRUCTURAL DETAILS	
23	GRILL STATION, CONCRETE BASE TO MATCH CONCRETE PLANTERS, GRILL TO BE ELECTRIC OR PROPANE, CONTRACTOR TO PROVIDE SHOP DRAWINGS, AND WORK WITH OWNER TO SELECT GRILL	
24	LANDSCAPE STRUCTURES, CURVA SPINNER, MODEL #241119, CONTACT SONNTAG 801.808.2241, OR APPROVED EQUAL	
25	BIKE RACK, TYP. SEE SHEET L502 DETAIL G	16
26	3" DEEP 1/2" TO 3" TAN/BEIGE ANGULAR ROCK MULCH, TYP. SEE SHEET L502 DETAIL J	40,253 sf

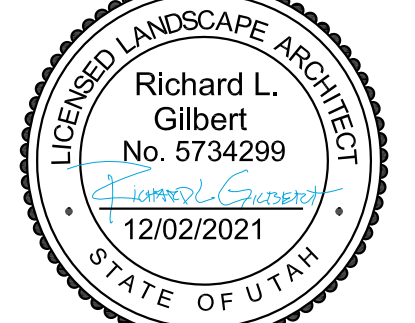
27	DOG SURFACING, TYP. SEE SHEET L502 DETAIL B	5,256 sf
28	LANDSCAPE STRUCTURES, CLEAR PAINT PANEL, MODEL #12621, CONTACT SONNTAG 801.808.2241, OR APPROVED EQUAL	
30	ELECTRICAL EQUIPMENT, SEE ELECTRICAL PLANS	
33	6" HIGH X 1/4" STEEL EDGE, TYP. SEE SHEET L501 DETAIL F	20 lf
34	DRINKING FOUNTAIN, TYP. SEE SHEET L502 DETAIL A	
35	4'X8' (5) DOG KENNEL, SEE ARCHITECTURAL PLANS FOR DETAIL	
36	3" DEEP BARK MULCH, TYP. SEE SHEET L502 DETAIL I	9,644 sf
37	3" TO 6" DIA TAN/BEIGE COBBLE, TYP. SEE SHEET L502 DETAIL I	24,673 sf
38	PROTECT EXISTING TREE	
39	SITE WALL, SEE ARCHITECTURAL PLANS FOR DETAIL	
40	LANDSCAPE STRUCTURES, KETTLE DRUM, MODEL #22821, CONTACT SONNTAG 801.808.2241, OR APPROVED EQUAL	

41	LANDSCAPE STRUCTURES, KUDU DRUM, MODEL #22821B, CONTACT SONNTAG 801.808.2241, OR APPROVED EQUAL	
42	LANDSCAPE STRUCTURES, VIVA METALLOPHONE, MODEL #214441, CONTACT SONNTAG 801.808.2241, OR APPROVED EQUAL	
43	LANDSCAPE STRUCTURES, SMART PLAY MOTION, MODEL #191051, CONTACT SONNTAG 801.808.2241, OR APPROVED EQUAL	
44	LANDSCAPE STRUCTURES, WEEVOS PLAY STRUCTURE, MODEL #16410, CONTACT SONNTAG 801.808.2241, OR APPROVED EQUAL	

\* QUANTITY INFORMATION PROVIDED FOR REFERENCE ONLY. CONTRACTOR RESPONSIBLE TO VERIFY ALL QUANTITIES.

ajc architects  
 703 east 1700 south  
 salt lake city, ut 84105  
 ajcarchitects.com

ARCHITECT / CONSULTANT  
**Arc Sitio Design**  
 Landscape Architecture &  
 Architectural Site Design  
 1058 East 2100 South Salt Lake City, Utah 84106  
 office 801.487.4923 fax 801.466.3046



AUTHORITY HAVING JURISDICTION

**REVIEWED FOR CODE COMPLIANCE**  
 FOR COMPLIANCE WITH THE APPLICABLE CONSTRUCTION CODES IDENTIFIED BELOW.

<input checked="" type="checkbox"/> BUILDING	<input checked="" type="checkbox"/> STRUCTURAL
<input checked="" type="checkbox"/> MECHANICAL	<input checked="" type="checkbox"/> PLUMBING
<input checked="" type="checkbox"/> ELECTRICAL	<input checked="" type="checkbox"/> ENERGY
<input checked="" type="checkbox"/> ACCESSIBILITY	<input type="checkbox"/> FIRE

PLAN REVIEW ACCEPTANCE OF DOCUMENTS DOES NOT AUTHORIZE CONSTRUCTION TO PROCEED IN VIOLATION OF ANY FEDERAL, STATE, OR LOCAL REGULATIONS.  
 BY: [Signature] DATE: 06/10/22  
 WEST COAST CODE CONSULTANTS, INC.

PROJECT DESCRIPTION  
**HARRIS COMMUNITY VILLAGE**

251 N. 1ST STREET  
 TOOELE, UT 84074

SHEET NAME:  
**OVERALL LANDSCAPE PLAN**

REVISIONS	MARK	DATE	DESCRIPTION

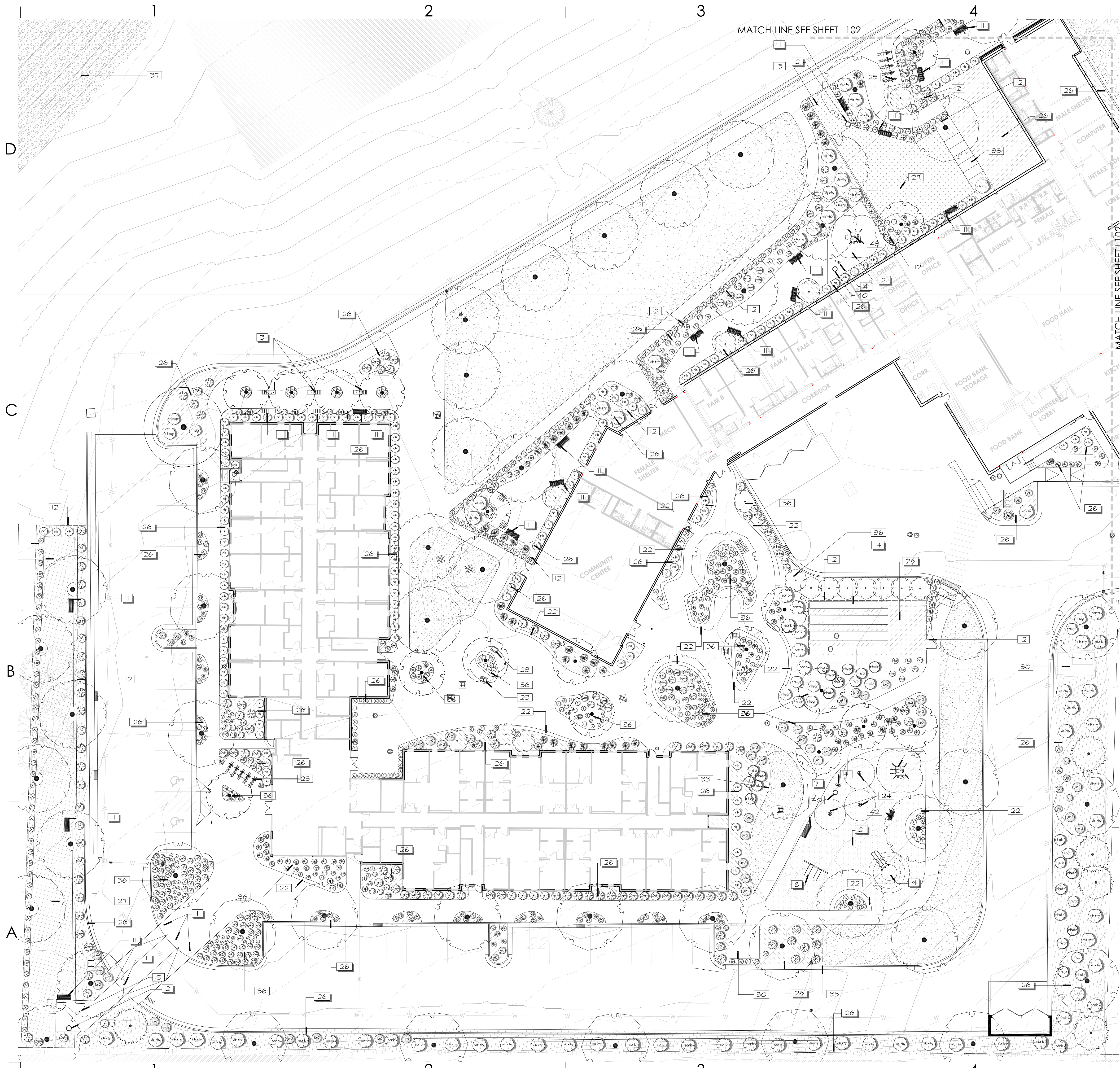
ISSUE DATE: 05/18/2022  
 ISSUE TYPE: CONFORMED SET

DRAWN BY: ASD  
 CHECKED BY: RG  
 PROJECT#: AJC 2021-12

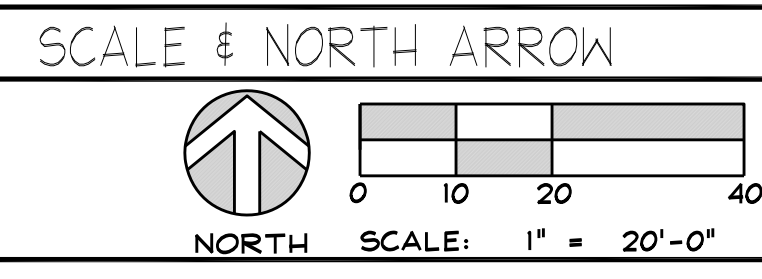
SHEET NUMBER:  
**L100**



12/2/2020 2:21:03 PM File Path  
 THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS ON THE JOB AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DIMENSIONS NOT SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES AND CONDUITS BEFORE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.



PLANT SCHEDULE			A
***SEE SHEET L501 FOR PLANT SCHEDULE***			
REFERENCE NOTES			B
SYMBOL	DESCRIPTION	QTY	
1	BOLLARD, TYP. SEE SHEET L502 DETAIL H		
2	DOG WASTE STATION, SEE WRITTEN SPECIFICATIONS	2	
3	BACKLESS BENCH, TYP. SEE SHEET L502 DETAIL F	4	
4	ENTRY, CONCRETE PAD WITH MAN GATE TO MATCH FENCE, SEE ARCHITECTURAL PLANS FOR FENCE AND GATE DETAIL		
5	LANDSCAPE STRUCTURES, SUPER SCOOP, MODEL #2316T33, CONTACT SONNTAG 801.808.2241, OR APPROVED EQUAL, PLACE IN PLAYGROUND SAND, SAND DEPTH PER LANDSCAPE STRUCTURES		
6	LANDSCAPE STRUCTURES, SWING SET, MODEL #17332, CONTACT SONNTAG 801.808.2241, OR APPROVED EQUAL		
9	DOUBLE SLIDE, SEE SHEET L503 DETAIL A		
11	BENCH, TYP. SEE SHEET L502 DETAIL E	18	
12	FENCE, SEE ARCHITECTURAL PLANS		
13	LANDSCAPE STRUCTURES, SHADE STRUCTURE 12X12 CANTILEVER, MODEL #2316T33, CONTACT SONNTAG 801.808.2241, OR APPROVED EQUAL		
14	RAISED GARDEN PLOT, TYP. SEE SHEET L502 DETAIL D		
15	DOUBLE GATE ENTRY FOR DOG PARK, FOR FENCE AND GATES SEE ARCHITECTURAL PLANS		
16	LANDSCAPE STRUCTURE, WATER TABLE, CONTACT SONNTAG 801.808.2241, OR APPROVED EQUAL		
19	LANDSCAPE STRUCTURES, 8 FT SAND BOX AND MESH COVER, MODEL #120455, CONTACT SONNTAG 801.808.2241, OR APPROVED EQUAL		
21	SAFETY SURFACING, TYP. SEE SHEET L502 DETAIL C	4,679 sf	
22	CONCRETE 18" HIGH BENCH AND PLANTER, TYP. SEE ARCHITECTURAL AND STRUCTURAL DETAILS		
23	GRILL STATION, CONCRETE BASE TO MATCH CONCRETE PLANTERS, GRILL TO BE ELECTRIC OR PROPANE, CONTRACTOR TO PROVIDE SHOP DRAWINGS AND WORK WITH OWNER TO SELECT GRILL		
24	LANDSCAPE STRUCTURES, CURVA SPINNER, MODEL #24119, CONTACT SONNTAG 801.808.2241, OR APPROVED EQUAL		
25	BIKE RACK, TYP. SEE SHEET L502 DETAIL G	16	
26	3" DEEP 1 1/2" TO 3" TAN/BEIGE ANGULAR ROCK MULCH, TYP. SEE SHEET L502 DETAIL J	40,259 sf	
27	DOG SURFACING, TYP. SEE SHEET L502 DETAIL B	5,259 sf	
28	LANDSCAPE STRUCTURES, CLEAR PAINT PANEL, MODEL #12621, CONTACT SONNTAG 801.808.2241, OR APPROVED EQUAL		
30	ELECTRICAL EQUIPMENT, SEE ELECTRICAL PLANS		
33	6" HIGH X 1/4" STEEL EDGE, TYP. SEE SHEET L501 DETAIL F	20 lf	
34	DRINKING FOUNTAIN, TYP. SEE SHEET L502 DETAIL A		
35	4'X8' (5) DOG KENNEL, SEE ARCHITECTURAL PLANS FOR DETAIL		
36	3" DEEP BARK MULCH, TYP. SEE SHEET L502 DETAIL I	9,649 sf	
37	3" TO 6" DIA. TAN/BEIGE COBBLE, TYP. SEE SHEET L502 DETAIL I	24,673 sf	
38	PROTECT EXISTING TREE		
39	SITE WALL, SEE ARCHITECTURAL PLANS FOR DETAIL		
40	LANDSCAPE STRUCTURES, KETTLE DRUM, MODEL #228217, CONTACT SONNTAG 801.808.2241, OR APPROVED EQUAL		
41	LANDSCAPE STRUCTURES, KIDU DRUM, MODEL #228218, CONTACT SONNTAG 801.808.2241, OR APPROVED EQUAL		
42	LANDSCAPE STRUCTURES, VIVA METALLOPHONE, MODEL #214441, CONTACT SONNTAG 801.808.2241, OR APPROVED EQUAL		
43	LANDSCAPE STRUCTURES, SMART PLAY MOTION, MODEL #110571, CONTACT SONNTAG 801.808.2241, OR APPROVED EQUAL		
44	LANDSCAPE STRUCTURES, KEEVOS PLAY STRUCTURE, MODEL #11410, CONTACT SONNTAG 801.808.2241, OR APPROVED EQUAL		
* QUANTITY INFORMATION PROVIDED FOR REFERENCE ONLY. CONTRACTOR RESPONSIBLE TO VERIFY ALL QUANTITIES.			



ajc architects  
 703 east 1700 south  
 salt lake city, ut 84105  
 ajcarchitects.com

ARCHITECT / CONSULTANT  
**Arc Sitio Design**  
 Landscape Architecture &  
 Architectural Site Design  
 1058 East 2100 South Salt Lake City, Utah 84106  
 office: 801.487.4923 fax: 801.486.3046



AUTHORITY HAVING JURISDICTION

**REVIEWED FOR CODE COMPLIANCE**  
 FOR COMPLIANCE WITH THE APPLICABLE CONSTRUCTION CODES IDENTIFIED BELOW.  
 BUILDING  STRUCTURAL  
 MECHANICAL  PLUMBING  
 ELECTRICAL  ENERGY  
 ACCESSIBILITY  FIRE  
 PLAN REVIEW ACCEPTANCE OF DOCUMENTS DOES NOT AUTHORIZE CONSTRUCTION TO PROCEED IN VIOLATION OF ANY FEDERAL, STATE, OR LOCAL REGULATIONS.  
 BY: *[Signature]* DATE: 06/10/22  
**WEST COAST CODE CONSULTANTS, INC.**

PROJECT DESCRIPTION  
**HARRIS COMMUNITY VILLAGE**  
 251 N. 1ST STREET  
 TOOELE, UT 84074

SHEET NAME:  
**LANDSCAPE PLAN**

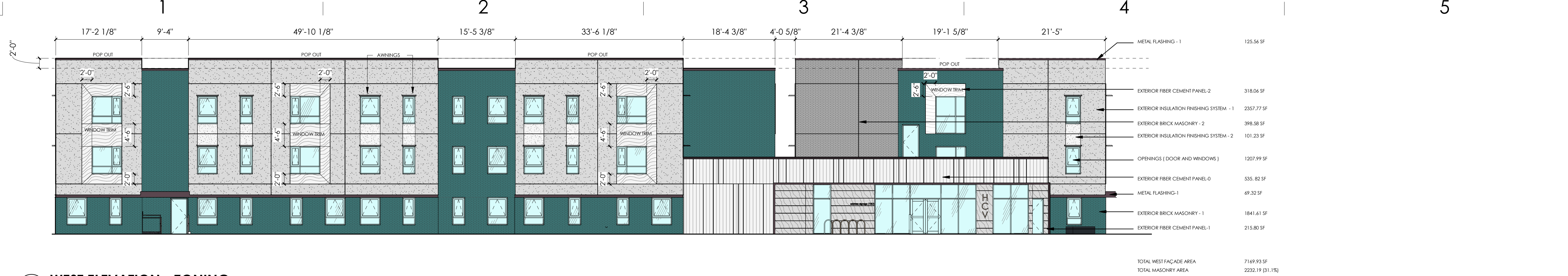
REVISIONS	MARK	DATE	DESCRIPTION

ISSUE DATE: 05/18/2022  
 ISSUE TYPE: CONFORMED SET

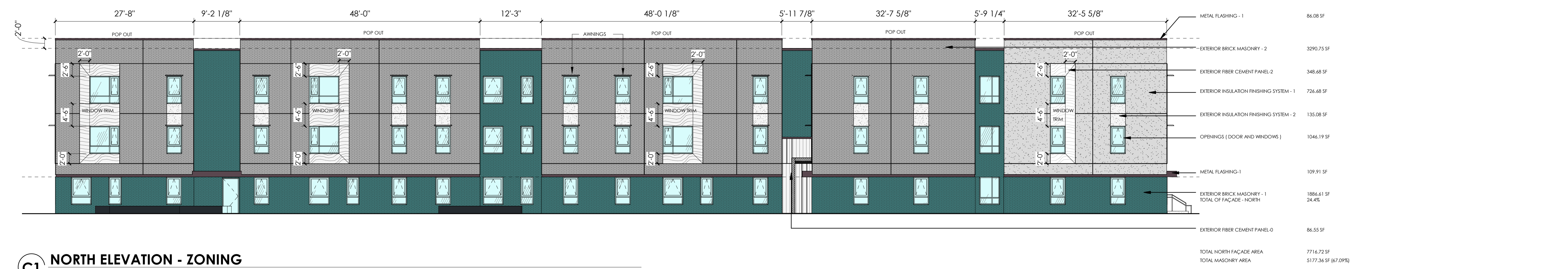
DRAWN BY: ASD  
 CHECKED BY: RG  
 PROJECT#: AJC 2021-12

SHEET NUMBER:  
**L101**

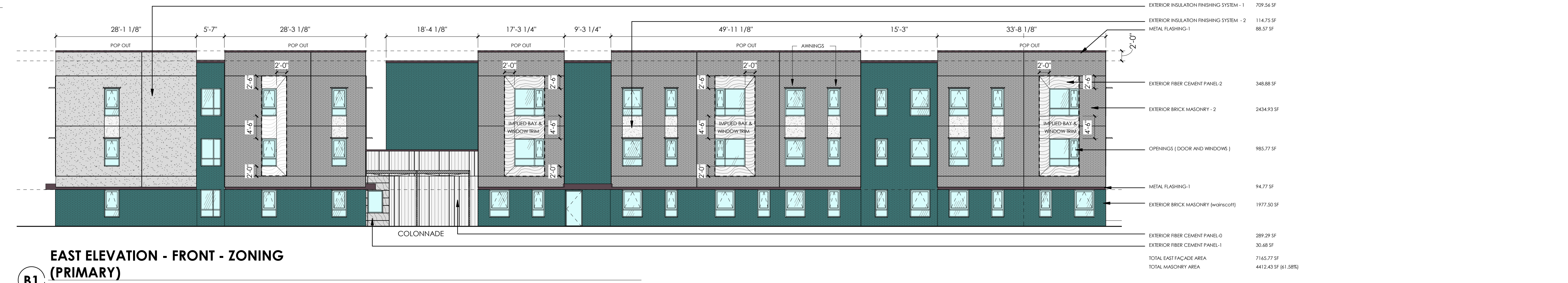




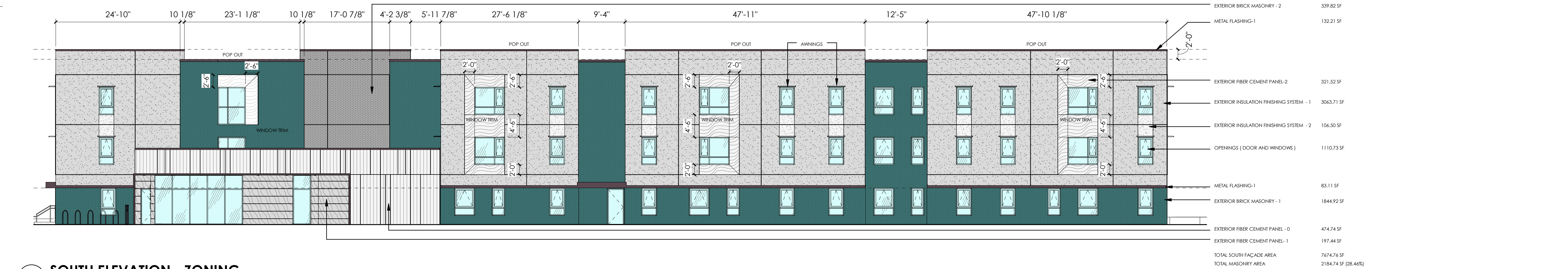
**D1 WEST ELEVATION - ZONING**  
3/32" = 1'-0"



**C1 NORTH ELEVATION - ZONING**  
3/32" = 1'-0"



**B1 EAST ELEVATION - FRONT - ZONING (PRIMARY)**  
3/32" = 1'-0"



**A1 SOUTH ELEVATION - ZONING**  
3/32" = 1'-0"



REVISIONS

MARK	DATE	DESCRIPTION
2	02/04/22	ADDENDUM 01 - PERMIT REVIEW
3	03/18/22	ADDENDUM 02 - PERMIT REVIEW 2



1

2

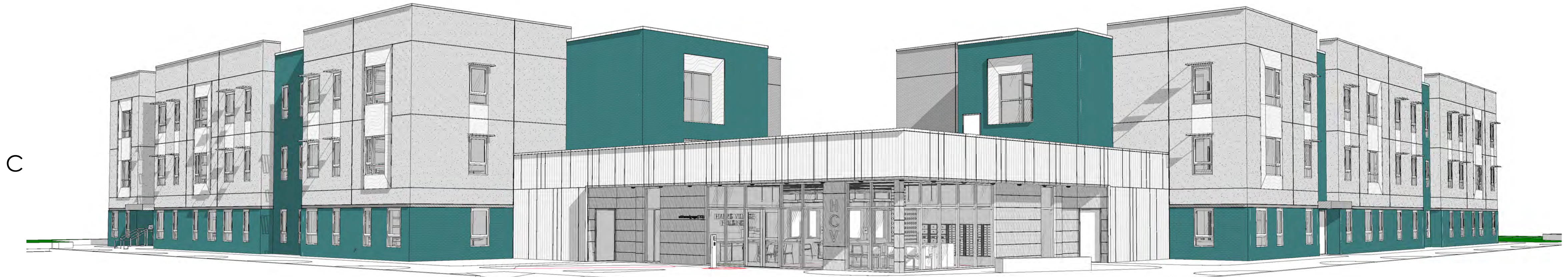
3

4

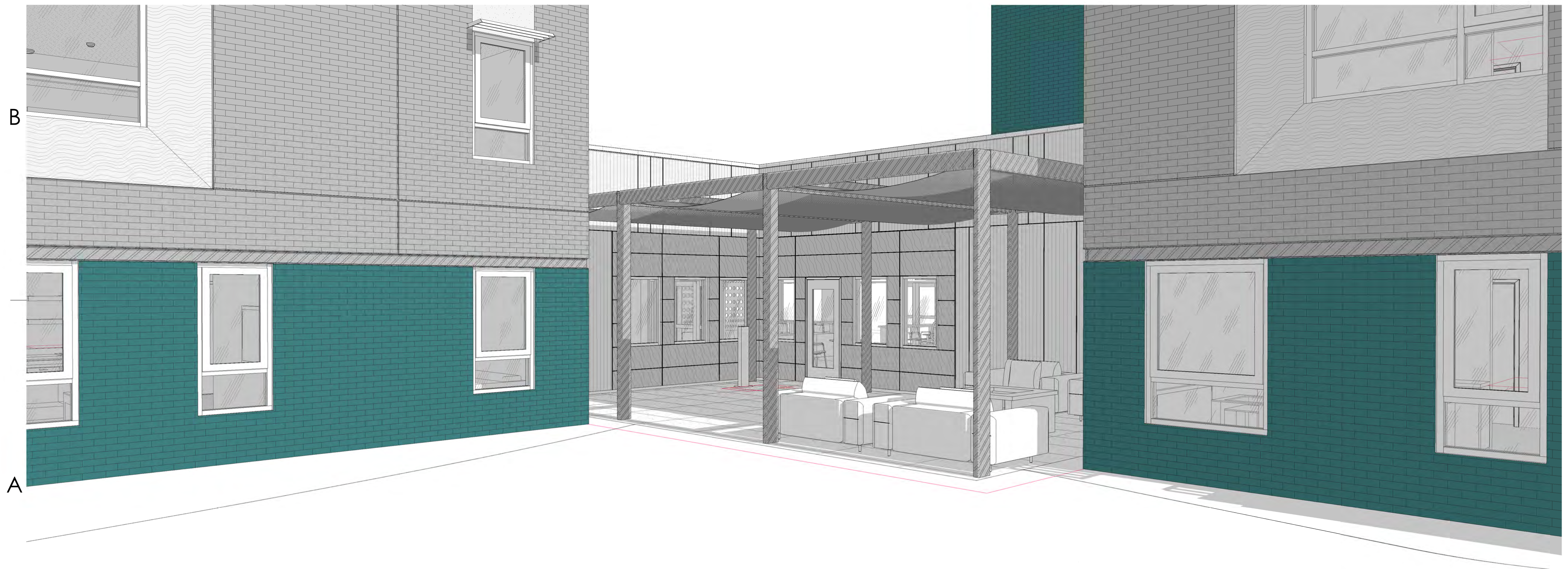
5



**D1 PERSPECTIVE - NORTHEAST CORNER**

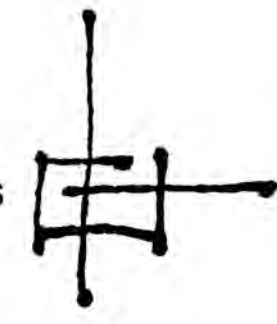


**C1 PERSPECTIVE - SOUTHWEST CORNER**



**A1 PERSPECTIVE - COLONNADE**

10/21/2022 10:48:51  
 AW BIM 360://Harris Community Village (2021-12 - Harris Community Village Apartments-V-21.rvt)  
 ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THESE DRAWINGS ARE OWNED BY AND THE PROPERTY OF AJC ARCHITECTS, P.C. AND WERE CREATED, DEVELOPED, AND EXPLORED FOR USE, ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF THE IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT WRITTEN CONSENT OF AJC ARCHITECTS. ANY VIOLATION OF THESE TERMS SHALL BE CONSIDERED A BREACH OF CONTRACT AND SUBJECT TO LEGAL ACTION. UNAUTHORIZED DISCLOSURE OR REPRODUCTION OF THESE DRAWINGS OR ANY PART THEREOF IS STRICTLY PROHIBITED. ANY REPRODUCTION OR DISCLOSURE OF THESE DRAWINGS WITHOUT THE WRITTEN CONSENT OF AJC ARCHITECTS, P.C. SHALL BE CONSIDERED A VIOLATION OF U.S.C. SEC. 106 AND OTHER LAWS. REPRODUCTION OF THESE DRAWINGS WITHOUT THE WRITTEN CONSENT OF AJC ARCHITECTS, P.C. SHALL BE CONSIDERED A VIOLATION OF U.S.C. SEC. 106 AND OTHER LAWS. UNAUTHORIZED DISCLOSURE OR REPRODUCTION OF THESE DRAWINGS WITHOUT THE WRITTEN CONSENT OF AJC ARCHITECTS, P.C. SHALL BE CONSIDERED A VIOLATION OF U.S.C. SEC. 106 AND OTHER LAWS.

ajc architects   
 703 east 1700 south  
 salt lake city, ut 84105  
 ajcarchitects.com



ARCHITECT / CONSULTANT

AUTHORITY HAVING JURISDICTION

PROJECT DESCRIPTION  
**HARRIS COMMUNITY VILLAGE**

251 NORTH 1ST STREET  
 TOOELE, UTAH 84074

SHEET NAME:  
**PERSPECTIVES**

REVISIONS  
 MARK DATE DESCRIPTION

ISSUE DATE: 10/17/22  
 ISSUE TYPE: CONFORMED SET  
 DRAWN BY: Author  
 CHECKED BY: Checker  
 PROJECT#: 2021.12

SHEET NUMBER:

**G013**

1

2

3

4

5



**Tooele City Planning Commission  
Business Meeting Minutes**

**Date:** Wednesday, September 28, 2022

**Time:** 7:00 p.m.

**Place:** Tooele City Hall Council Chambers  
90 North Main Street, Tooele Utah

**Commission Members Present:**

Melanie Hammer  
Matt Robinson  
Tyson Hamilton  
Weston Jensen  
Chris Sloan  
Melodi Gochis  
Alison Dunn  
Jon Proctor

**Commission Members Excused:**

Paul Smith

**City Council Members Present:**

Ed Hansen  
Maresa Manzione

**City Employees Present:**

Andrew Aagard, City Planner  
Jim Bolser, Community Development Director

Minutes prepared by Katherin Yei

Chairman Robinson called the meeting to order at 7:00 p.m.

**1. Pledge of Allegiance**

The Pledge of Allegiance was led by Chairman Robinson.

**2. Roll Call**

Melanie Hammer, Present  
Matt Robinson, Present  
Tyson Hamilton, Present  
Weston Jensen, Present  
Chris Sloan, Present  
Melodi Gochis, Present  
Alison Dunn, Present  
Jon Proctor, Present

Paul Smith, Excused

**3. Public Hearing and Decision on a Conditional Use Permit Request by Tagg N Go to Permit the “Car Wash” Use on 1.28 Acres Located at Approximately 270 East 2400 North in the GC General Commercial Zoning District. (Continued from the September 14, 2022 Planning Commission Meeting)**

Mr. Aagard presented information on a Conditional Use Permit for the parcel located South of 2400 North. The property is GC, General Commercial. This is not a site plan application, but has been included for references only. The applicant did approach the City Council to purchase water rights from the City. They were not in support of that. This public hearing has remained opened.

The Planning Commission had the following questions and concerns.

Do they have water?

Does the Carwash recycle?

Does the letter from UDOT address the setback?

Mr. Aagard addressed the Planning Commission. They would have to provide water at the site plan approval process.

The public hearing was opened. No one came forward.

Connor Atkin addressed the Commission. They are working with other parties in the community to attain the water. A carwash uses 25-35 gallons of water per water. There are 4 reclaim tanks and grease traps to reuse. They have more than sufficient information for the setback.

Mr. Bolser addressed the Commission. The setback being referred to in the letter from UDOT is actually where the property line is so the building’s separation from the roadway will be similar to the car wash next door at the Chevron.

**Commissioner Hamilton motioned to approve a Conditional Use Permit Request by Tagg N Go to Permit the “Car Wash” Use on 1.28 Acres Located at Approximately 270 East 2400 North in the GC General Commercial Zoning District based on the findings and conditions listen in the staff report.** Commissioner Gochis seconded the motion. The vote was as follows: Commissioner Hammer, “Aye”, Commissioner Proctor, “Aye”, Commissioner Sloan, “Aye” Chairman Robinson, “Aye” Commissioner Hamilton, “Aye”, Commissioner Jensen, “Aye”, and Commissioner Gochis, “Aye”. The motion passed.

**4. City Council Reports**

Council Member Manzione shared the following information from the City Council Meeting:

Everything the Planning Commission has seen, was approved.

Main Street parking was approved.

The annexation agreement has been approved.

**5. Planning Commission Training on Parks and Recreation Planning.**



The training has been postponed.

**6. Review and Approval of Planning Commission Minutes for the Business Meeting Held on September 14, 2022.**

Jon Proctor was misspelled.

**Commissioner Hammer motioned to approve the minutes.** Chairman Robinson seconded the motion. The vote was as follows: Commissioner Hammer, “Aye”, Commissioner Proctor, “Aye”, Commissioner Sloan, “Aye” Chairman Robinson, “Aye” Commissioner Hamilton, “Aye”, Commissioner Jensen, “Aye”, and Commissioner Gochis, “Aye”. The motion passed.

**7. Adjourn**

**Chairman Robinson adjourned the meeting at 7:15 p.m.**

*The content of the minutes is not intended, nor are they submitted, as a verbatim transcription of the meeting. These minutes are a brief overview of what occurred at the meeting.*

Approved this \_\_\_\_ day of October, 2022

\_\_\_\_\_  
Matt Robinson, Tooele City Planning Commission Chair